



## PUBLIC NOTICE

### REQUEST FOR MINOR VARIATION 1523 CLINTON PLACE RIVER FOREST, ILLINOIS

February 6, 2025

Public Notice is hereby given that Nancy and Julio Boulahanis, owners of the property at 1523 Clinton Place, have submitted an application for a minor zoning variation in accordance with Section 10-5-4-B of the Zoning Code. Section 10-5-4-B-1 can allow a decrease of up to five percent in the required front yard setback required by the Zoning Title through the Minor Variation procedure where that variation is the only variation required for the structure or use.

The applicants propose to construct an addition onto the front of the existing home which will reduce the front yard setback from 50.04 feet to 46.74 feet.

Per the calculation method prescribed in section 10-8-7-A of the Zoning ordinance, the required front yard setback for the east side of the 1500 block of Clinton Place is 49.07 feet.

With the maximum 5% reduction allowed by section 10-5-4-B-1, the required front yard setback will be reduced to 46.61 feet for this property.

This is the only variation which is being requested for 1523 Clinton Place.

The legal description of the property at 1523 Clinton Place is as follows:

LOT 18 IN BLOCK 2 IN ROSELL'S BONNIE BRAE ADDITION TO RIVER FOREST, BEING A SUBDIVISION OF THE NORTH 1/2 OF THE EAST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THEREFROM THE WEST 33 FEET AND THE SOUTH 33 FEET THEREOF DEEDED TO THE VILLAGE OF RIVER FOREST FOR STREET PURPOSES) IN THE VILLAGE OF RIVER FOREST, ILLINOIS.

This Public Notice invites written comment regarding the merits or potential impact of the requested Minor Variation. The application is available for review on the Village's website at <https://www.vrf.us/forms/form/33> and also available at the Village Hall (400 Park Avenue). All written comments are to be received by Clifford Radatz, Building Official, within fifteen days of the date of this notice or by 4:30 PM on Friday, February 21, 2025. Minor variations do not require public hearings by the Zoning Board of Appeals.



APPLICATION FOR ZONING VARIATION
Village of River Forest Zoning Board of Appeals

Address of Subject Property: 1523 Clinton Place Date of Application: 12-09-24

Table with 2 columns: Applicant and Architect/Contractor. Rows include Name, Address, City/State/Zip, Phone, and Email for both parties.

Relationship of Applicant to Property (owner, contract purchaser, legal counsel, etc.): owner

Zoning District of Property: [ ] R1 [X] R2 [ ] R3 [ ] R4 [ ] C1 [ ] C2 [ ] C3 [ ] PRI [ ] ORIC

Please check the type(s) of variation(s) being requested:

- [X] Zoning Code [ ] Building Code (fence variations only)

Application requirements: Attached you will find an outline of the other application requirements. Please read the attached carefully, the applicant will be responsible for submitting all of the required information.

Also attached for your information are the Zoning Board of Appeals "Rules of Procedure" for their public hearings.

Application Deadline: A complete variation application must be submitted no later than the 15th day of the month in order to be heard by the Zoning Board of Appeals in the following month. The Zoning Board of Appeals meets on the second Thursday of each month.

SIGNATURES: The undersigned hereby represent for the purpose of inducing the Village of River Forest to take the action herein requested... [Signatures and dates for Owner and Applicant]

Application Fee: A non-refundable fee of \$750.00 must accompany every application for variation, which includes the cost of recording the variation with the County. Checks should be made out to the Village of River Forest.

**APPLICATION FOR ZONING VARIATION**

Address of Subject Property: \_\_\_\_\_ Date of Application: \_\_\_\_\_

**Summary of Requested Variation(s):**

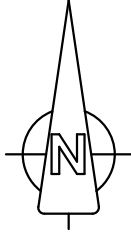
<b>Applicable Code Section (Title, Chapter, Section)</b> <i>Example:</i> 10-8-5, lot coverage	<b>Code Requirement(s)</b> <i>Example:</i> no more than 30% of a lot	<b>Proposed Variation(s)</b> <i>Example:</i> 33.8% of the lot (detailed calculations on a separate sheet are required)

**THE APPLICANT IS REQUIRED TO SUBMIT DETAILED LONG HAND CALCULATIONS AND MEASUREMENTS FOR ALL APPLICABLE ZONING PROVISIONS. APPLICATIONS WILL NOT BE CONSIDERED COMPLETE WITHOUT THESE CALCULATIONS AND MEASUREMENTS.**

6415 N. Caldwell Ave.  
Chicago, Il. 60646

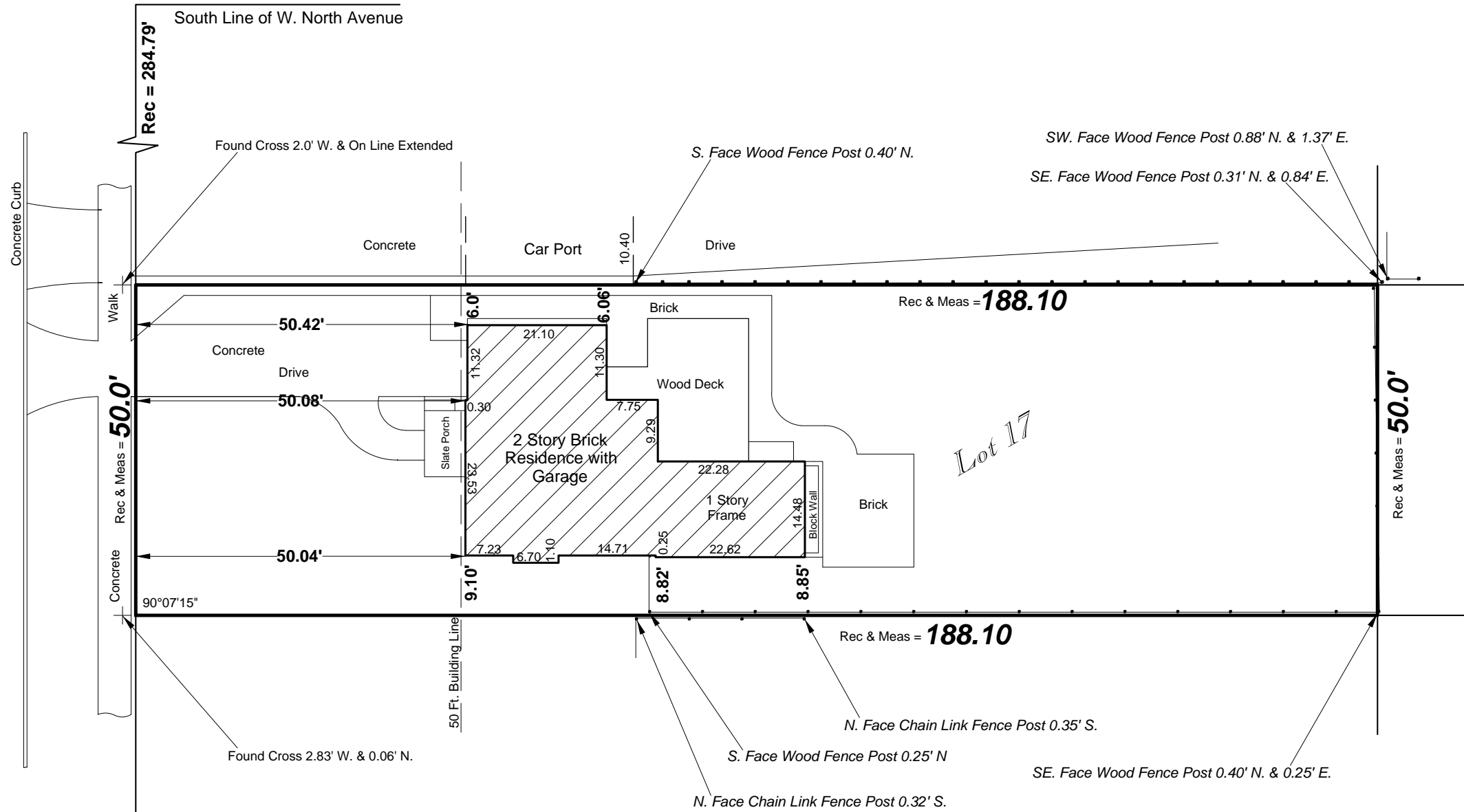
# Plat of Survey *by* Central Survey PLLC

Phone (773) 631-5285  
Fax (773) 775-2071  
www.Centralsurvey.com



Legal Description  
Lot 18 in Block 2 in Rosell's Bonnie Brae Addition to River Forest, being a Subdivision of the North ½ of the East ¼ of Section 1, Township 39 North, Range 12 East of the Third Principal Meridian (except therefrom the West 33 feet and the South 33 feet thereof deeded to the Village of River Forest for street purposes) in the Village of River Forest in Cook County, Illinois  
Commonly Known as: 1523 N. Clinton Place, River Forest, Illinois  
Area of Land Described: 9,405 Sq. Ft.

**N. Clinton Place**



**Legend**

- N. = North
- S. = South
- E. = East
- W. = West
- (TYP) = Typical
- Rec = Record
- Meas = Measure
- St. = Street
- Ave. = Avenue

Decimal/Inch Conversions		
0.01' = 1/8"	0.08' = 1"	0.58' = 7"
0.02' = 1/4"	0.17' = 2"	0.67' = 8"
0.03' = 3/8"	0.25' = 3"	0.75' = 9"
0.04' = 1/2"	0.33' = 4"	0.83' = 10"
0.05' = 5/8"	0.42' = 5"	0.92' = 11"
0.06' = 3/4"	0.50' = 6"	1.00' = 12"

NOTES: \*Property corners were NOT staked per customer.  
\*AutoCad file will not be provided under this contract. \*For building restrictions refer to your abstract, deed, contract, title policy and local ordinances. \*Assume no dimension from scaling upon this plat. \*Compare all points before building and report any difference at once.

Scale: 1 Inch equals 20 Feet.  
Ordered By: Airroom  
Order Number: 1523E

State of Illinois )  
County of Cook ) S.S.

Central Survey PLLC does hereby certify that an on the ground survey per record description of the land shown hereon was performed on Aug. 21, 2024 and that the map or plat hereon drawn is a correct representation of said survey. When bearings are shown the bearing base is assumed. Dimensions are shown in feet and hundredths and are correct at a temperature of 68° Fahrenheit.

**Dated this 21st day of August 2024**

*John M. Henriksen*  
John M. Henriksen P.L.S. #2668 (exp.11/30/2024) Professional Design Firm Land Surveying LLC (#184.005417)  
This professional service conforms to current Illinois minimum standards for a boundary survey.



**NEW SECOND STORY TYPE 5A FRAME ADDITION TO AN EXISTING 2 STORY BRICK VENEER RESIDENCE WITH ATTACHED 1 CAR MASONRY GARAGE. IMPROVEMENTS TO THE FRONT FASCIADE W/ NON-HABITABLE DECORATIVE PILASTERS AND ROOF CANOPIES, MINOR IMPROVEMENTS TO EXISTING GARAGE FOR THE BOULAHANIS RESIDENCE**



**RENDERING IS FOR REFERENCE ONLY AND IS A CLOSE APPROXIMATION, REGARDING THE WINDOWS**

YEAR	CODE DESCRIPTION
2018	INTERNATIONAL RESIDENTIAL CODE
2018	INTERNATIONAL MECHANICAL CODE
2018	INTERNATIONAL FIRE CODE
2021	ILLINOIS ENERGY CONSERVATION CODE
2017	NATIONAL ELECTRIC CODE
2014	STATE OF ILLINOIS PLUMBING CODE

REQUIRING:	REQUIRED:	EXISTING:	PROPOSED:
LOT AREA AND SIZE - 10-9-4			
LOT AREA:	8,712 S.F.	9,405 S.F.	EXISTING
LOT WIDTH:	50' MIN.	50'	EXISTING
LOT COVERAGE & FAR - 10-9-5:			
LOT COVERAGE (30% LOT AREA):	2,821.5 S.F. MAX	1,251 S.F.	1,337 S.F.
FAR (0.4):	3,782 S.F. MAX	1,949 S.F.	2,270 S.F.
HEIGHT REGULATIONS - 10-8-6:	35'H. / 2-1/2 S	28.7'H./2 STORY	28.7'H./2 STORY
SETBACK REGULATIONS - 10-8-7:			
FRONT YARD SETBACK (BLOCK AVERAGE):	50' BUILDING LINE	50.04'	46'-6"
REAR YARD SETBACK:	28.21'	86.55'	EXISTING
SIDEYARD MINIMUM SETBACK:	5.00' MIN.	6.00'	5'-11"
SIDEYARD COMBINED SETBACK:	12.50' MIN.	14.82'	EXISTING

FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE DESIGN LOAD OF 1500 PSF. SOIL BEARING CAPACITY

**STATE OF ILLINOIS PROFESSIONAL DESIGN FIRM:**  
 AIROOM ARCHITECTS CORP.  
 6825 N. LINCOLN AVE., LINCOLNWOOD, IL  
 LICENSE # 184.005479

**SCOPE OF WORK:**  
 - NEW SECOND STORY ADDITION ABOVE EXISTING GARAGE  
 - IMPROVEMENTS TO EXISTING GARAGE INCLUDING NEW EXTERIOR DOOR, AND INSULATION ON EXTERIOR WALLS AND CEILING AS PER PLANS.  
 - IMPROVEMENTS TO FRONT FASCIADE INCLUDING FRONT DECORATIVE PILLARS AND CANOPY OVER ENTRY DOOR AND ROOF CANOPY

REVISION	DATE	REVISION DESCRIPTION

DEPARTMENT APPROVAL:



SINCE 1958  
 Airoom Architects Corp.  
 6825 N. Lincoln Avenue  
 Lincolnwood, Illinois 60712  
 Phone: (847) 763-1100 Fax: (847) 679-0446  
 Website: www.airoom.com  
 Email: info@airoom.com

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

**IRDC DESIGN LOADS:**

LINE ITEM:	LL:	DL:	TOTAL LOAD:
ROOF	30 PSF	15 PSF	45 PSF
ATTIC W/O STORAGE	10 PSF	10 PSF	20 PSF
ATTIC W/ STORAGE	20 PSF	10 PSF	30 PSF
DECKS	60 PSF	10 PSF	70 PSF
FIRE ESCAPES	40 PSF	10 PSF	50 PSF
GUARDRAILS	200 PSF		200 PSF
HANDRAILS	200 PSF		200 PSF
BALUSTERS	50 PSF		50 PSF
GARAGE	50 PSF		50 PSF
HABITABLE SPACE	40 PSF	10 PSF	50 PSF
SLEEPING ROOMS	40 PSF	10 PSF	50 PSF
STAIRS	40 PSF	10 PSF	50 PSF

**2021 INTERNATIONAL ENERGY CONSERVATION CODE:**

LINE ITEM:	REQUIRED:	NOTES:
WINDOWS:	.30	FENESTRATION U FACTOR.
	.55	SKYLIGHT U FACTOR.
		GLAZED FENESTRATION SHGC.
CEILING/ ATTIC:	R-60	CAN BE REDUCED TO R-38 IF INSULATION EXTENDS ALL THE OVER THE TOP PLATES.
WALLS:	R-20 + 5 OR R-13 + 10	WOOD FRAMED WALLS W/ R-20 INTERIOR W/ R-5 CONTINUOUS OR R-13 INTERIOR W/ R-10 CONTINUOUS
FLOORS:	R-30	AT PERIMETER ONLY.
BASEMENT WALLS:	R-15 OR R-19	R-15 IF CONTINUOUS OR R-19 IF IN WALL CAVITY.
SLAB ON GRADE:	R-10	R-10 INSULATION TO 2" BELOW 1/2" FN. WALL.
CRAWL SPACE:	R-15 OR R-19	R-15 IF CONTINUOUS OR R-19 IF IN WALL CAVITY.
SUNROOM:	R-13 WALLS R-24 CLG	COMMON WALL TO HOUSE MUST COMPLY WITH FULL REQUIREMENTS.
DUCTWORK:	R-8 OR R-6	INSULATED TO MIN. R-8 IN ATTIC SPACE INSULATED TO MIN. R-6 IN OTHER AREAS.

**ABBREVIATIONS**

ACAP	AS CLOSE AS POSSIBLE	HOWD	HARDWOOD
ALLOW	H.O.	HOME	HOME OWNER
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATION & AIR CONDITIONING
BW	BEAM	HORIZ	HORIZONTAL
B/	BOTTOM (OF)	INSUL	INSULATION
BROG	BRIDGING	LAW	LAWATORY
BB	BY BUYER	LOC	LOCATION
BO	BY OTHERS	MAX	MAXIMUM
CAB	CABINET	MIN	MINIMUM
CI	CAST IRON	MR DW	MOISTURE RESISTANT DRYWALL
CJ	CEILING JOINT	MTL	METAL
CLG	CEILING	NC	NOT IN CONTRACT
CL	CENTER LINE	OC	ON CENTER
CT	CERAMIC TILE	OPG	OPENING
CW	CLEAN OUT	+/-	PLUS OR MINUS
COL	COLD WATER	REQ	REQUIRED
CDC	COLONIAL	RR	ROUGH RAFTER
CONC	CONCRETE	RO	ROUGH OPENING
CMU	CONC. MASONRY UNIT	STD.	STANDARD
CFM	CUBIC FEET PER MINUTE	SF	SQUARE FEET
DM	DIMENSION	SP	SUMP PIT/PUMP
DN	DOWN	THR	THRESHOLD
DS	DOWN SPOUT	T/	TOP OF
DW	DRYWALL	TYP	TYPICAL
DWG	DRAWING	UNO	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL	VCT	VINYL COMPOSITION TILE
ELEV	ELEVATION	VERT	VERTICAL
EQ	EQUAL	VF	VERIFY IN FIELD
EP	EJECTOR PIT/PUMP	VTR	VENT THRU ROOF
EX	EXISTING	WSCT	WANSWORTH
FOX	FACE OF FINISH	WH	WATER HEATER
FOS	FACE OF STUD	W/	WITH
FOS	FACE OF SHEATHING	W/O	WITHOUT
FIXT	FIXTURE	WB	WOOD
FJ	FLOOR JOIST	WS	WATER SERVICE
FDN	FOUNDATION		
FP	FROST PROOF		
Galv	GALVANIZED		
HV	HOSE BIB		

**CERTIFICATION STATEMENT:**  
 I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G.I.D.)

**GENERAL NOTES:**

THE PLANS, SPECIFICATIONS AND OTHER DOCUMENTS ATTACHED HERETO (COLLECTIVELY THE "AC DOCUMENTS") WERE PREPARED BY AIROOM ARCHITECTS, CORP. ("A/C") AND ARE PROPRIETARY INSTRUMENTS OF A/C FOR THE EXCLUSIVE USE OF A/C. THE A/C DOCUMENTS ARE HEREBY LICENSED TO AIROOM, LLC ("AIROOM") FOR USE BY AIROOM IN CONJUNCTION WITH: (A) THAT CERTAIN SALES CONTRACT ENTERED INTO BY AND BETWEEN AIROOM AND BOULAHANIS ("BUYER") DATED 06/17/2024 (THE "SALES CONTRACT") AND THE SPECIFICATIONS DATED SPECIFICATION DATE. A/C IS THE AUTHOR OF THE A/C DOCUMENTS AND RETAINS ALL BUYERSHIP AND ALL COMMON LAW, STATUTORY AND OTHER PROPRIETARY RIGHTS, INCLUDING ALL COPYRIGHTS, IN AND TO THE A/C DOCUMENTS, INCLUDING ALL TEXT, DRAWINGS, CONCEPTS AND IDEAS, FORMING A PART OF THESE DOCUMENTS AND THE SELECTIONS & ARRANGEMENT THEREOF.

A/C HEREBY GRANTS AIROOM THE SOLE AND EXCLUSIVE RIGHT AND LICENSE TO USE THE A/C DOCUMENTS. ANY UNAUTHORIZED USE OF THE A/C DOCUMENTS OR ANY UNAUTHORIZED USE OF THE TEXT, DRAWINGS, CONCEPTS OR IDEAS CONTAINED THEREIN, BY BUYER OR ANY OTHER THIRD PARTY, WITHOUT THE EXPRESS PRIOR WRITTEN PERMISSION OF AIROOM IS PROHIBITED AND MAY SUBJECT BUYER OR SUCH THIRD PARTY TO A CLAIM FOR DAMAGES.

AIROOM MAKES NO GUARANTEE OF PERFORMANCE OR DESIGN AND MAKES NO EXPRESS OR IMPLIED WARRANTIES OF ANY KIND TO BUYER. ALL SERVICES PROVIDED BY AIROOM WILL BE PERFORMED IN A MANNER CONSISTENT WITH THE PROFESSIONAL SKILL AND CARE ORDINARILY EXERCISED BY ARCHITECTS & BUILDERS PRACTICING IN THE SAME OR SIMILAR LOCALITY UNDER THE SAME OR SIMILAR CIRCUMSTANCES. ALL DIMENSIONS SHOWN ON THESE DOCUMENTS ARE APPROXIMATE AND WILL BE REASONABLY ACCURATE WITHIN NORMAL CONSTRUCTION TOLERANCES. BUYER UNDERSTANDS THAT A/C SHALL NOT BE PERFORMING ANY OF THE CONSTRUCTION WORK AND DOES NOT CONTROL THE MEANS, METHODS OR PROCEDURES OF CONSTRUCTION. FURTHER, AIROOM DOES NOT WARRANT OR GUARANTEE ANY OF THE SERVICES BEING PROVIDED BY A/C AND AIROOM'S WARRANTY SPECIFICALLY EXCLUDES DESIGN SERVICES OF ANY KIND.

UNTIL BUYER APPROVES THESE DOCUMENTS, AND THE NECESSARY PERMITS ARE RECEIVED BY AIROOM, CONSTRUCTION CANNOT BE SCHEDULED. THE ESTIMATED CONSTRUCTION TIME IS 22 TO 26 WEEKS FROM START OF CONSTRUCTION TO SUBSTANTIAL COMPLETION. AIROOM WILL PROVIDE AN ESTIMATED COMPLETION DATE AT THE START OF CONSTRUCTION. AIROOM SHALL PROCEED WITH ALL DUE DILIGENCE TO COMPLETE THE CONSTRUCTION BY THE ESTIMATED COMPLETION DATE PROVIDED, HOWEVER, AIROOM SHALL NOT BE RESPONSIBLE OR LIABLE, AND THE OBLIGATIONS OF BUYER UNDER THE SALES CONTRACT SHALL NOT BE DELAYED OR PREVENTED, IF CONSTRUCTION SHALL BE DELAYED OR PREVENTED DUE TO WEATHER CONDITIONS, CHANGE ORDERS OR CHANGES IN THE SCOPE OF WORK, BUYER'S DELAY OR FAILURE TO MAKE OR FINALIZE COLOR OR MATERIAL SELECTIONS WITHIN THE TIME PRESCRIBED BY THE SALES CONTRACT, DELAYS CAUSED BY MATERIAL AVAILABILITY OR WORKLOAD CONDITIONS, "ACTS OF GOD", DELAYS CAUSED BY MATERIAL BEING SUPPLIED BY BUYER OR WORK BEING PERFORMED BY CONTRACTORS NOT HIRED BY AIROOM, OR ANY OTHER REASONS BEYOND AIROOM'S EXCLUSIVE CONTROL, OR AS OTHERWISE SET FORTH IN THE SALES CONTRACT. AIROOM IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.

ONCE APPROVED, THE A/C DOCUMENTS ARE THE FINAL AGREEMENT OF AIROOM AND BUYER AS TO THE CONSTRUCTION WORK TO BE PERFORMED, AND ANY ITEMS NOT PROVIDED FOR IN THESE DOCUMENTS ARE NOT PART OF THE CONSTRUCTION WORK TO BE PERFORMED UNDER THE SALES CONTRACT.

AIROOM IS NOT RESPONSIBLE FOR PAINTING, STAINING, DECORATING, WINDOW TREATMENTS, LANDSCAPING, APPLIANCES OR LIGHT FIXTURES UNLESS OTHERWISE SPECIFIED IN THESE DOCUMENTS, OR THE SALES CONTRACT. PURSUANT TO THE TERMS OF THE SALES CONTRACT, AIROOM IS NOT RESPONSIBLE FOR EXISTING CONDITIONS OR UNFORESEEN WORK.

AIROOM MAY MAKE MINOR VARIATIONS OR SUBSTITUTE MATERIALS OR BRAND NAMES OF EQUAL OR BETTER QUALITY, UTILITY OR COLOR, WITHOUT THE CONSENT OF BUYER. AIROOM RESERVES THE RIGHT TO MAKE ANY CHANGES IN CONSTRUCTION AS MAY, IN AIROOM'S JUDGMENT, BE REQUIRED BY MATERIAL SHORTAGES, OTHER EMERGENCY SITUATIONS OR OTHER CAUSES BEYOND AIROOM'S EXCLUSIVE CONTROL.

**BUYER NOTE**  
 AIROOM NOT RESPONSIBLE FOR REMOVAL OR RELOCATING BUYER'S CONTENTS SO THAT CONSTRUCTION WORK CAN BE COMPLETED. BUYER TO REMOVE CONTENTS FROM WORK AREAS PRIOR TO START OF CONSTRUCTION. AIROOM SHALL REVIEW REQUIREMENTS WITH BUYER PRIOR TO START OF WORK.

X                      X

**SYMBOL LEGEND**

	EXTERIOR WALL TO REMAIN		NEW FDN WALL		NEW BRICK
	WALL TO BE REMOVED		FINISH TO BE REMOVED		NEW ASPHALT ROOF
	INTERIOR WALL TO REMAIN		STRUCTURE TO BE REMOVED		NEW ARCHITECTURAL ROOF
	NEW FRAMED WALL		NEW SIDING		NEW CEDAR ROOF
	EX WINDOW TO REMAIN		BATH		ROOM NAME
	WINDOW TO BE REMOVED		DOOR TO BE REMOVED		REFERENCE POINT
	NEW WINDOW		NEW DOOR		REVISION TAG
	1 DEMO/NEW TAG		W WINDOW TAG		ALIGN (FLR/WALL)
	R1 SECTION TAG		D DOOR TAG		INTERIOR ELEV TAG
	L ADD DETAIL TAG		L ADD SECTION TAG		

**STAGING/PHASING NOTES:**

THE RENO., REPAIR & PAINTING PROGRAM RULE:  
 - THE PORTIONS OF THIS HOME BEING REMODELED WERE CONSTRUCTED PRIOR TO 1 JANUARY 1978. EPA RRP CONTAMINANT PROCEDURES REQUIRED.

- YEAR HOUSE WAS BUILT: 1934 (SOURCE: WWW.ZILLOW.COM)

**UTILITIES**

PER STATE LAW, CONTACT J.U.L.I.E. AT #1-800-892-0123 OR #811 AT LEAST TWO BUSINESS DAYS BEFORE THE START OF EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY PRIVATELY INSTALLED LINES. A SERIES OF WOOD STAKES, EXTENDING NO LESS THAN 3' ABOVE THE GROUND, SHALL BE USED TO IDENTIFY THE PATH OF EACH UTILITY. A RIBBON SHALL BE ATTACHED TO THE TOP OF THE STAKE USING COLORS CONSISTENT WITH J.U.L.I.E. GUIDELINES.

**SHEET LEGEND**

SHEET #	TAG	DESCRIPTION
1	G1	PROJECT INFORMATION & BUILDING CODE
2	G2	DEMO / NEW SITE PLANS
3	G3	FINISH SCHEDULES
4	A0.0	WALL LEGEND - LIGHT & VENT SCHEDULE
5	A1.0	DEMO & NEW BASEMENT FLOOR PLANS
6	A1.1	DEMO & NEW FIRST FLOOR PLANS
7	A1.2	DEMO & NEW SECOND FLOOR PLANS
8	A1.3	DEMO & NEW ROOF PLANS
9	S1	STRUCTURAL PLANS - FIRST AND SECOND FLOOR FRAMING PLANS
10	S2	STRUCTURAL PLANS - CEILING & ROOF FRAMING PLANS
11	S3	STRUCTURAL PLANS - CANOPY FRAMING PLANS
12	A2.1	DEMO ELEVATIONS
13	A2.2	NEW ELEVATIONS
14	A3.0	NEW CANOPY CROSS SECTION
15	A3.1	NEW LONG. BUILDING SECTION
16	A3.2	NEW CROSS BUILDING SECTIONS
17	A3.3	NEW CANOPY SECTIONS
18	A4.0	INTERIOR PARTITION DETAILS
19	A5.0	WEATHERIZATION & FLASHING DETAILS
20	A5.1	JAMES HARDIE SIDING DETAILS
21	A5.2	JAMES HARDIE PANEL DETAILS
22	M1	FIRST & SECOND FLOOR HVAC PLANS
23	E1	BASEMENT / GARAGE DEMO ELECTRICAL PLANS
24	E2	BASEMENT / GARAGE NEW ELECTRICAL PLANS
25	E3	SECOND FLOOR ELECTRICAL PLANS
26	P1	PLUMBING PLANS
27	P2	PLUMBING DIAGRAMS

DATE SIGNED: 12/05/24

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

AIROOM REPRESENTATIVE: \_\_\_\_\_ DATE: \_\_\_\_\_

**PROJECT INFORMATION:**  
 BOULAHANIS / NEIRA  
 NANCY & JULIO  
 1523 CLINTON PL  
 RIVER FOREST, IL 60505  
 (708)691-1302  
 njb3105@gmail.com

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRAHNS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV MANAGER:	BRIAN HOSPIES
ARCHITECT TEAM:	JORGE NATA/HARON SADEH
PCD TEAM:	ROYAL BLUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

PERMIT NO: \_\_\_\_\_

**240071**

SHEET TITLE:

**PROJECT INFO**

**BUILDING CODE**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRA CHARGE FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CHANGES THAT MAY OCCUR WHEN THE WALL, ETC. ARE EXPOSED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIROOM ARCHITECTS CORP. 11/15/24

AFD REFERENCE:  
**C68931 - L73226**

**G1**  
**27**



D

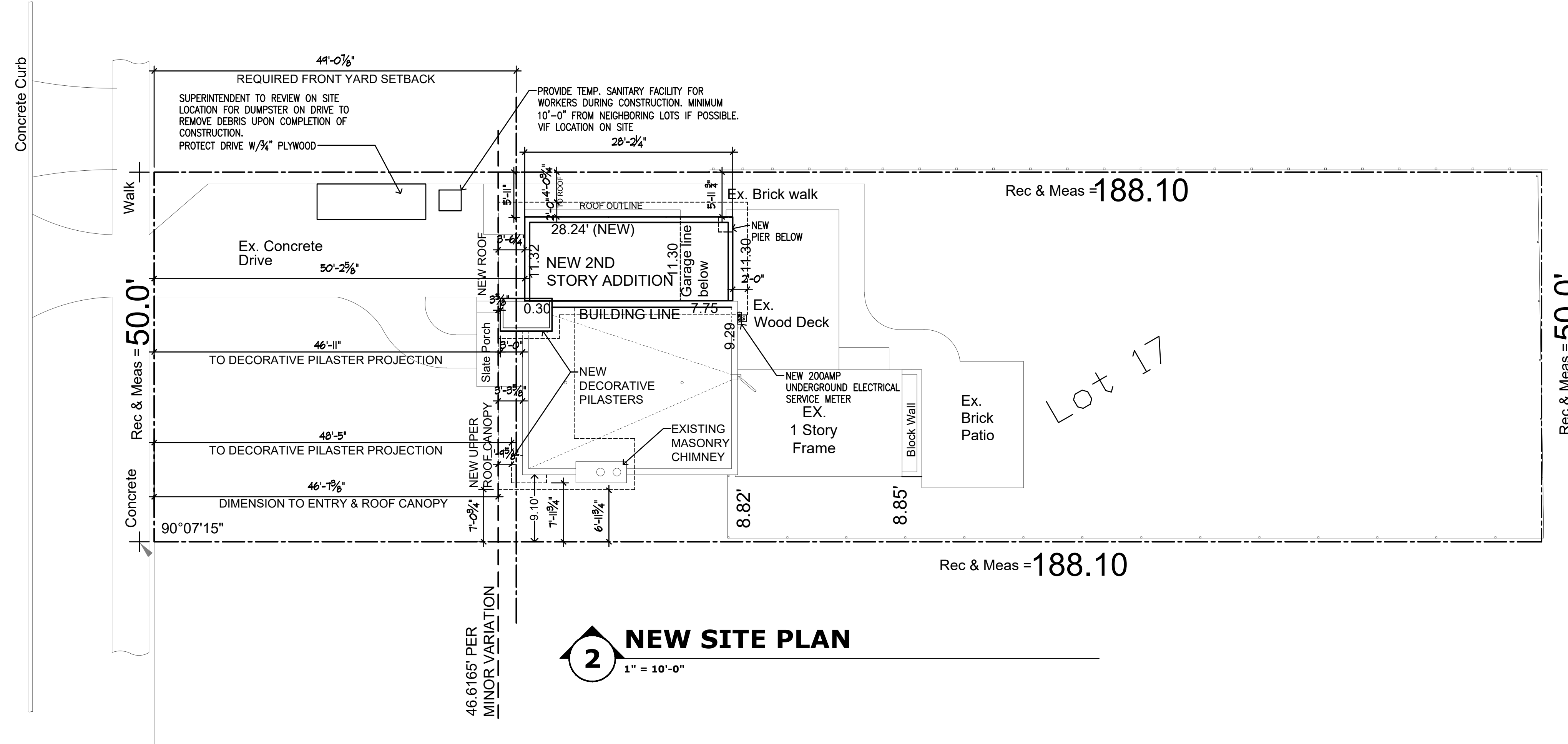
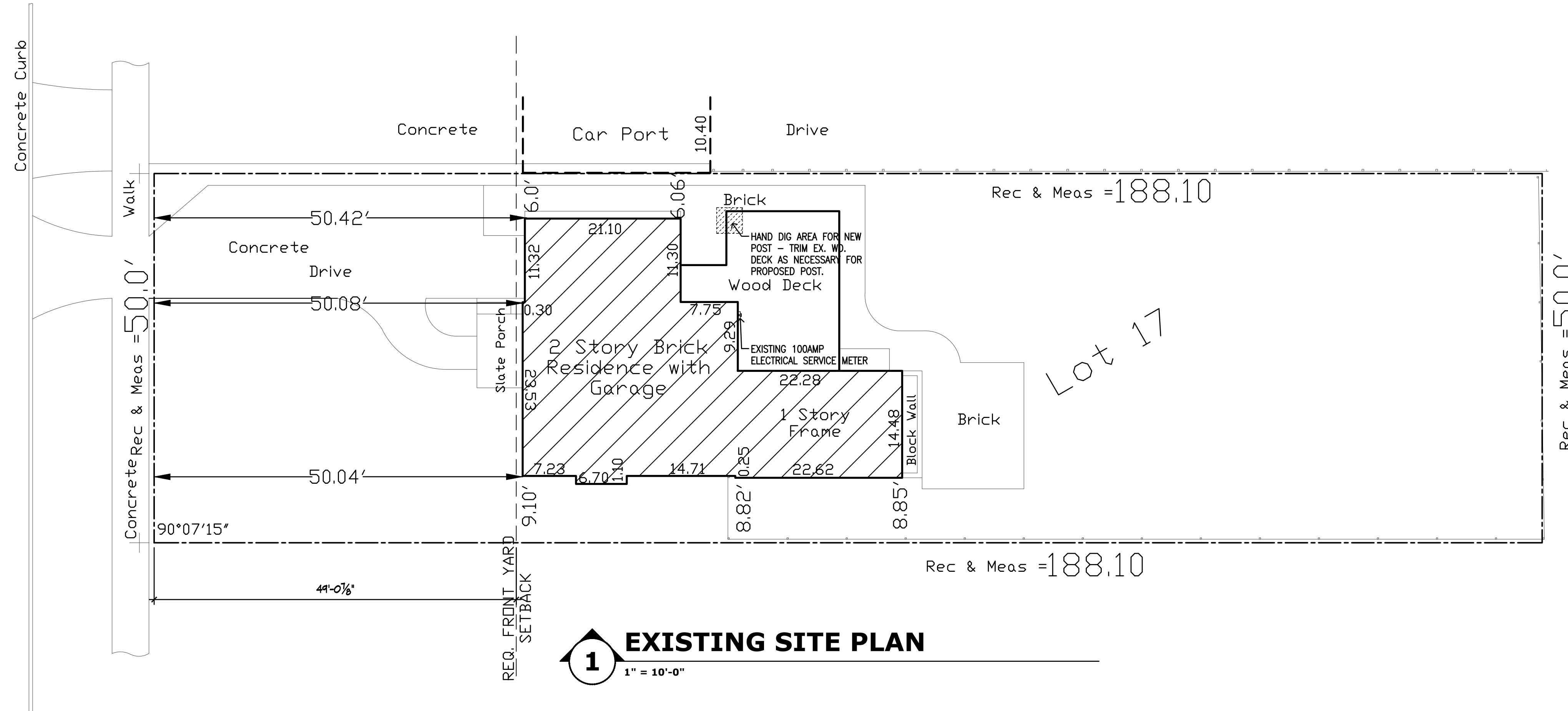
C

B

A

N. Clinton Place

N. Clinton Place



DEPARTMENT APPROVAL:

**AIRROOM**  
ARCHITECTS & BUILDERS  
SINCE 1958

Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

ISSUES & REVISIONS :

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

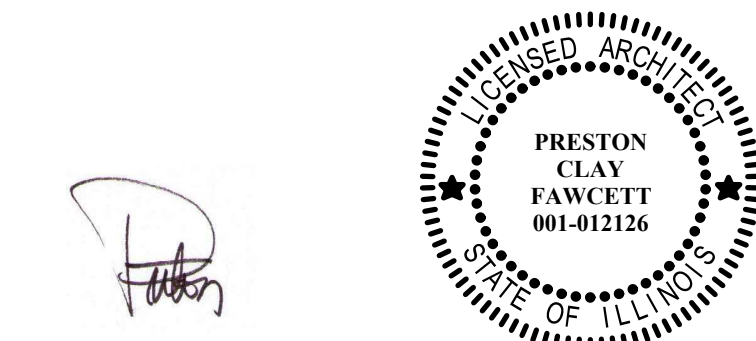
THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP., ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0.



DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE

\_\_\_\_\_ AIRROOM REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
 NANCY & JULIO  
 1523 CLINTON PL  
 RIVER FOREST, IL 60505  
 (708)691-1302  
 njb3105@gmail.com

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPES
ARCHITECT TEAM:	JORGE MARTA/HARON SAADEH
PCD TEAM:	ROBYN BLUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

PROJECT NO :  
**240071**

SHEET TITLE :  
**DEMO / NEW  
 SITE PLAN**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRA FEE ALLOWED FOR WORK FORESEENABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CHANGES THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24

AFD REFERENCE:  
**C68931 - L73226**

**G2  
27**

1

2

3

4

5

6

**WINDOW SCHEDULE**

TAG	LOCATION	MFR	SERIES	OPERATION TYPE	MODEL NO.	ROUGH OPENING	TEMP.	GLASS TYPE	U FACTOR	JAMB DEPTH	JAMB EXTENSION	WINDOW TRIM APPLICATION	INTERIOR		EXTERIOR		SCREEN		GRILLE				HARDWARE			NIGHT LATCHES	NOTES
													MATERIAL	FINISH	MATERIAL	FINISH	TYPE	COLOR	SIZE	TYPE	PATTERN	STYLE	INT. FINISH	EXT. FINISH	MFR		
W1	NEW PRIMARY BEDROOM	SIERRA PACIFIC		(2) DOUBLE HUNG		72"x60"	N						MDF	PINE													
W2	NEW W.I.C.	SIERRA PACIFIC		FIXED		36"x24"	N						MDF	PINE													
W3	NEW W.I.C.	SIERRA PACIFIC		FIXED		36"x24"	N						MDF	PINE													

**DOOR SCHEDULE**

TAG	LOCATION	MFR	DOOR SIZE (FT.IN.)	DOOR THICKNESS	ROUGH OPENING	OPERATION	STYLE	SPECIES	CORE TYPE	GLASS TYPE	JAMB DEPTH	DOOR TRIM APPLICATION	MFR	STYLE	FUNCTION	FINISH	HINGES		STOP			NOTES				
																	BALL CATCHES	FINISH	MFR	STYLE	MODEL #		FINISH			
D1	NEW W.I.C.		2068			SWING			SOLID	N/A		REFER TO TAGS ON SHEET G3 (TX)														
D2	NEW BATH		2068			SWING			SOLID	N/A		REFER TO TAGS ON SHEET G3 (TX)														

**EXTERIOR DOOR SCHEDULE**

TAG	LOCATION	MFR	DOOR TYPE	MODEL #	DOOR SIZE	DOOR THICKNESS	ROUGH OPENING	GLASS TYPE	FIRE LABEL	U-FACTOR	JAMB DEPTH	DOOR TRIM APPLICATION	INTERIOR		EXTERIOR		SCREEN		GRILLE				HARDWARE			HINGES			STOP			SILL MATERIAL	SILL PAN	NOTES				
													MATERIAL	FINISH	FUNCTION	FINISH	TYPE	COLOR	SIZE	TYPE	PATTERN	STYLE	INT. FINISH	EXT. FINISH	MFR	STYLE	FINISH	STYLE	FINISH	MFR	STYLE				MODEL #	FINISH		
ED1	GARAGE ENTRY		SWING		36"x80"							REFER TO TAGS ON SHEET G3 (TX)																										

**ROOM FINISH SCHEDULE**

ROOM NAME	FLOOR AREA	FLOOR FINISH	REGISTER TYPE	REGISTER FINISH	BASEBOARD	SHOE	CROWN	WAINSCOT/ CHAIR RAIL
PRIMARY BEDROOM	156 SQ.FT.	LVT	N/A	N/A	2-1/2" COLONIAL	✓		
NEW W.I.C.	58 SQ.FT.	LVT	N/A	N/A	2-1/2" COLONIAL	✓		
PRIMARY BATH	58 SQ.FT.	TILE	N/A	N/A	2-1/2" COLONIAL	✓		

TRIM & MOLDING PROFILES: NEW TRIM IS TO MATCH EXISTING AS CLOSE AS POSSIBLE FROM AVAILABLE NON-CUSTOM LOCALLY STOCKED MATERIALS.

**BASE AND SHOE PROFILE**

PRIMED:  
 YES

**WINDOW CASING PROFILE**

PRIMED:  
 YES

**DOOR CASING PROFILE**

PRIMED:  
 YES

**CROWN PROFILE**

PRIMED:  
 YES

**TRIM APPLICATION**

USE THESE ELEVATION TAGS ONLY AS REFERENCE FOR TRIM APPLICATION. REFER TO SCHEDULE FOR ADDITIONAL INFO.

DEPARTMENT APPROVAL:

**AIROOM**  
ARCHITECTS & BUILDERS  
SINCE 1958

Airoom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airoom.com  
Email: info@airoom.com

ISSUES & REVISIONS:

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIROOM ARCHITECTS CORP. AIROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIROOM ARCHITECTS CORP., ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).

DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER: \_\_\_\_\_ DATE \_\_\_\_\_

BUYER: \_\_\_\_\_ DATE \_\_\_\_\_

AIROOM REPRESENTATIVE: \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT INFORMATION:

**BOULAHANIS / NEIRA NANCY & JULIO**  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:

PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE NATA/HARON SAADEH
PCC TEAM:	ROBYN BLUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS
SUPERINTENDENT:	

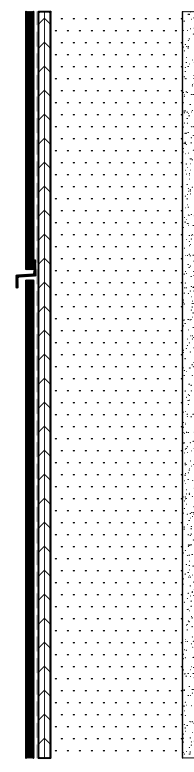
PROJECT NO : **240071**

SHEET TITLE : **FINISH SCHEDULES**

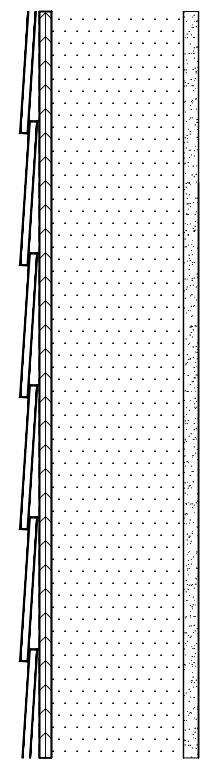
**G3**  
27

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRA ARE ALLOWED FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CHANGES THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

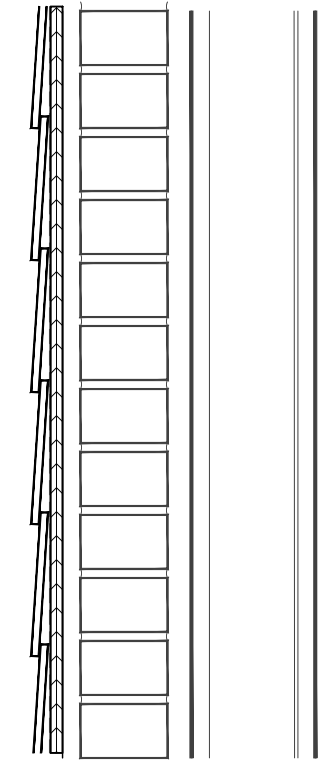
© 2024 AIROOM ARCHITECTS CORP. 11/15/24  
AFD REFERENCE:  
**C68931 - L73226**



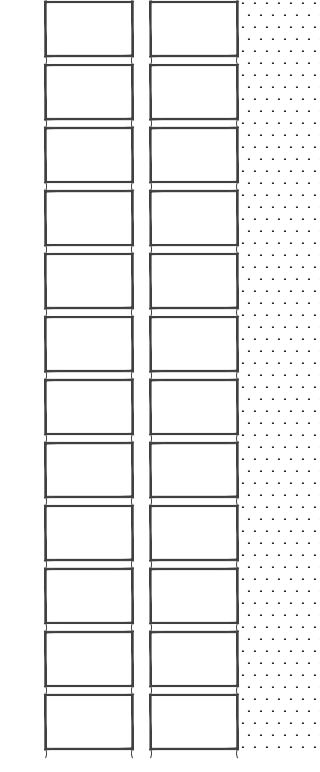
**W1** NEW ADDITION EXT. WALL - JAMES HARDIE W/ SMOOTH PANELS:  
 - JAMES HARDIE SMOOTH PANELS FINISH LAY HORIZONTALLY W/  
 HORIZONTAL, VERTICAL, AND END PROFILES  
 - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).  
 W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM  
 TAPE @ ALL SEAMS.  
 - 2x6 WD STUDS @ 16" O.C. W/ DBL TOP PLATES.  
 - R-30 CLOSED CELL SPRAY FOAM INSULATION  
 - 5/8" GYPSUM BOARD (SCREWED, GLUED, TAPED, MUD, SAND, & PRIMED)  
 READY FOR FINISH.  
 - ALUMINUM DRIP CAP @ WINDOWS & DOORS.  
 - SEE HEADER AND BEAM SCHEDULE.



**W2** NEW ADDITION EXT. WALL - JAMES HARDIE W/ LAP SIDING:  
 - JAMES HARDIE SMOOTH LAP SIDING  
 - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).  
 W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM  
 TAPE @ ALL SEAMS.  
 - 2x6 WD STUDS @ 16" O.C. W/ DBL TOP PLATES.  
 - R-30 CLOSED CELL SPRAY FOAM INSULATION  
 - 5/8" GYPSUM BOARD (SCREWED, GLUED, TAPED, MUD, SAND, & PRIMED)  
 READY FOR FINISH.  
 - ALUMINUM DRIP CAP @ WINDOWS & DOORS.  
 - SEE HEADER AND BEAM SCHEDULE.



**W3** RAINSCREEN- JAMES HARDIE W/ LAP SIDING:  
 - JAMES HARDIE SMOOTH LAP SIDING  
 - 1x4 FURRING STRIPS  
 - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).  
 W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM  
 TAPE @ ALL SEAMS.  
 - ON EXISTING EXTERIOR WALL  
 - ALUMINUM DRIP CAP @ WINDOWS & DOORS.  
 - ADD INSECT PROTECTION AT BOTTOM OF ASSEMBLY



**W4** NEW INSULATION OVER GARAGE EXT. WALL:  
 - NEW 2x4 WD. STUDS @ 24" O.C.  
 - SPRAY 3-1/2" OF ICYKENE SPRAY FOAM INSULATION AT WALL  
 PERIMETER AS SHOWN IN PLANS. DO NOT SPRAY OVER AREAS THAT WILL  
 INTERFERE WITH THE GARAGE DOOR ROLLING TRACKS.  
 - 5/8" GYPSUM BOARD (SCREWED, GLUED, TAPED, MUD, SAND, & PRIMED)  
 READY FOR FINISH.

DEPARTMENT APPROVAL:

**AIRROOM**  
**ARCHITECTS & BUILDERS**  
 SINCE 1958  
 Airroom Architects Corp.  
 6825 N. Lincoln Avenue  
 Lincolnwood, Illinois 60712  
 Phone: (847) 763-1100 Fax: (847) 679-0446  
 Website: www.airroom.com  
 Email: info@airroom.com

ISSUES & REVISIONS :	
ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. OR A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**  
 I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).

DATE SIGNED: 12/05/24

I/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.  
 I/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER \_\_\_\_\_ DATE \_\_\_\_\_  
 BUYER \_\_\_\_\_ DATE \_\_\_\_\_  
 AIRROOM REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

**PROJECT INFORMATION:**  
**BOULAHANIS / NEIRA**  
**NANCY & JULIO**  
 1523 CLINTON PL  
 RIVER FOREST, IL 60505  
 (708)691-1302  
 njb3105@gmail.com

<b>PROJECT TEAM:</b>	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS
SUPERINTENDENT:	

PROJECT NO :  
**240071**  
 SHEET TITLE :  
**WALL LEGEND  
 L & V SCHEDULE**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORSEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
 AFD REFERENCE  
**C68931 - L73226**

**A0.0**  
**27**

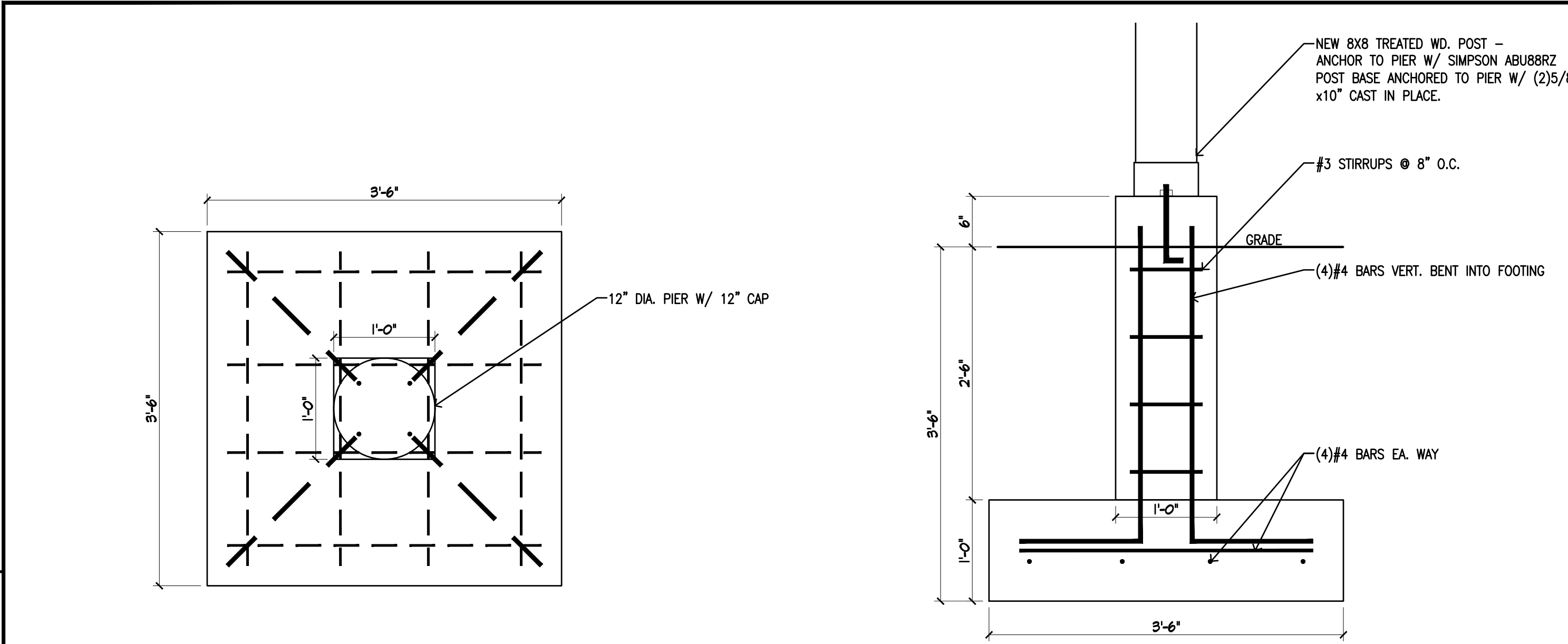
D

C

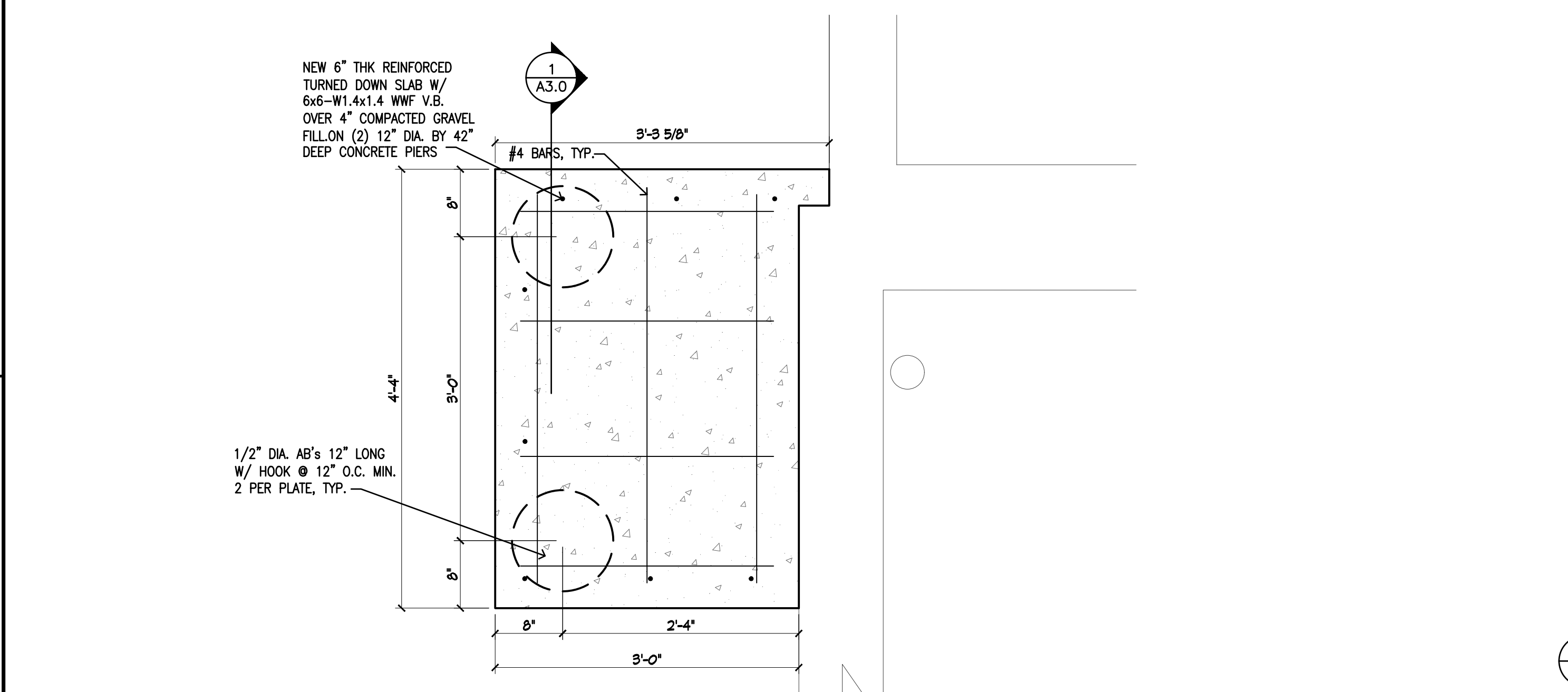
B

A

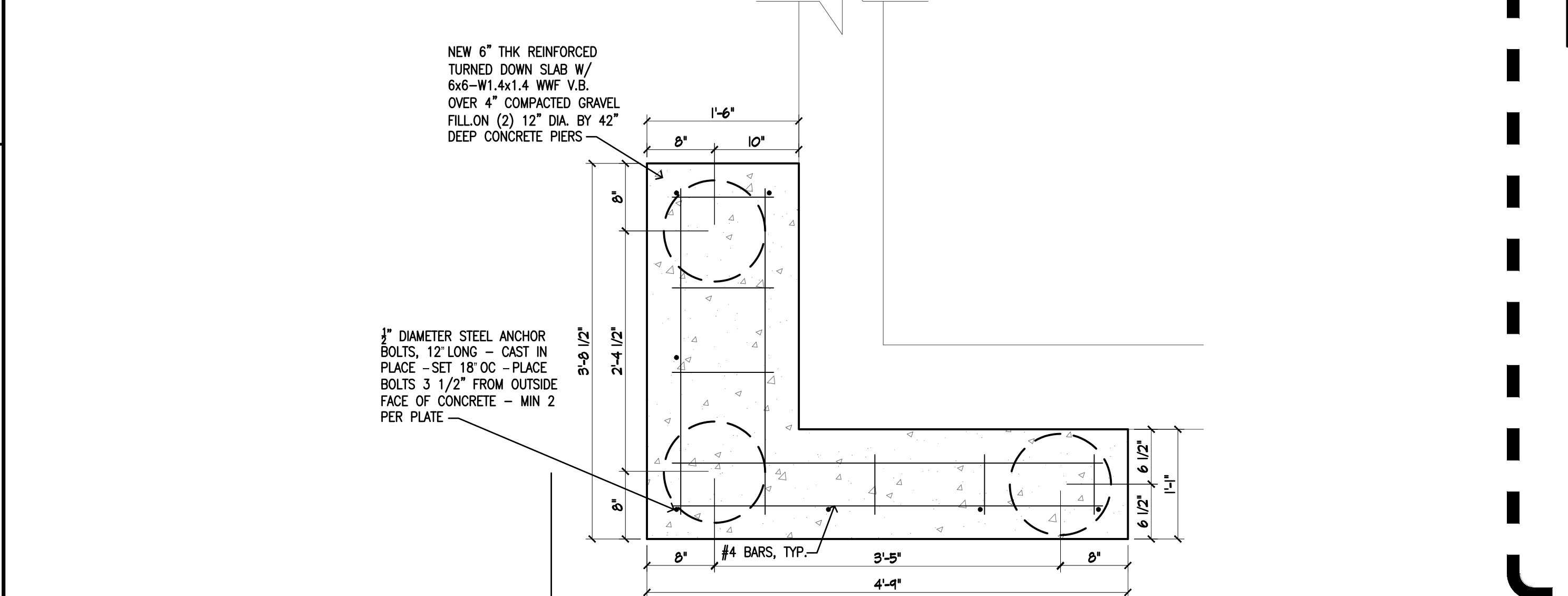




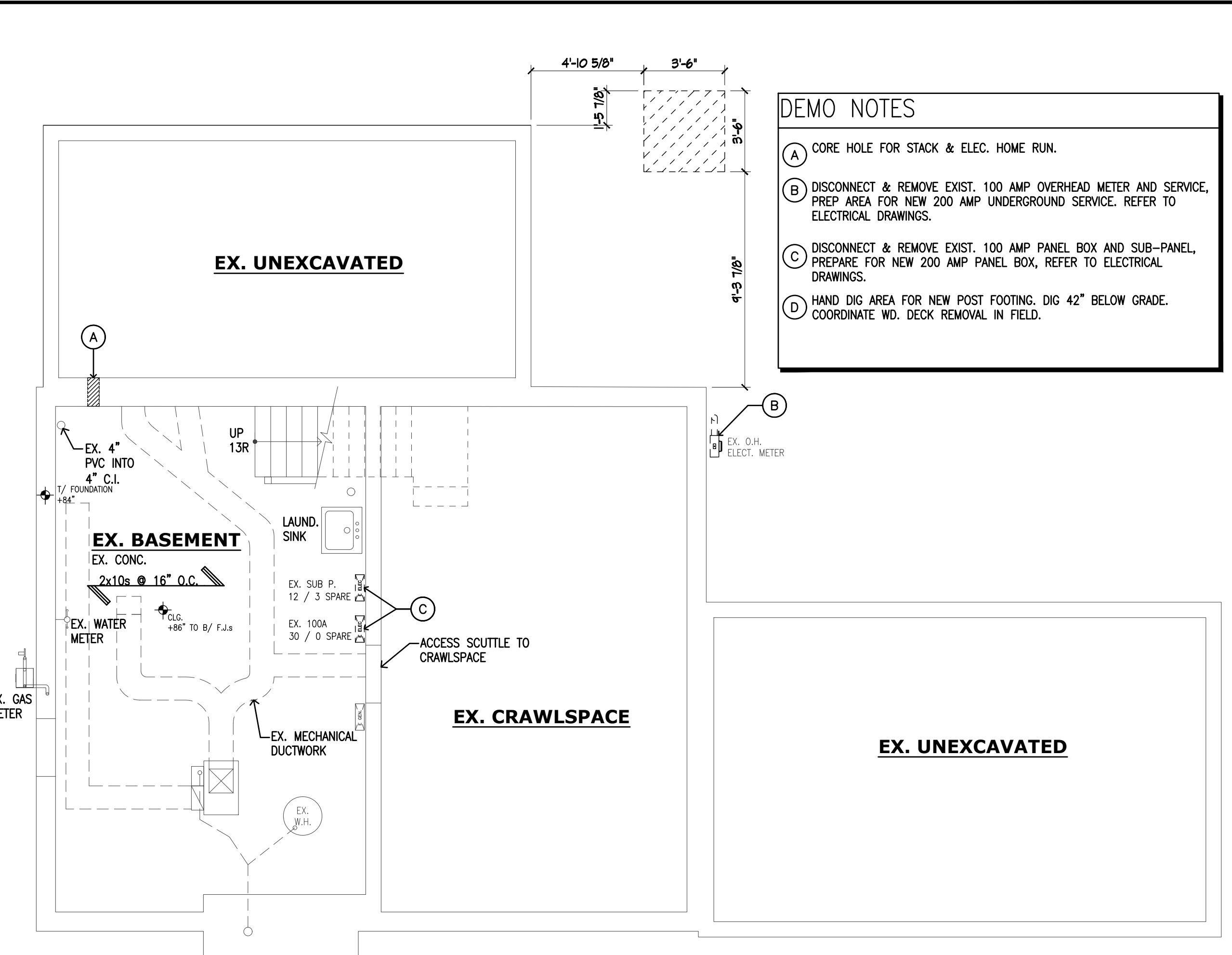
**C CORNER POST FOOTING DETAILS**  
1-1/2" = 1'-0"



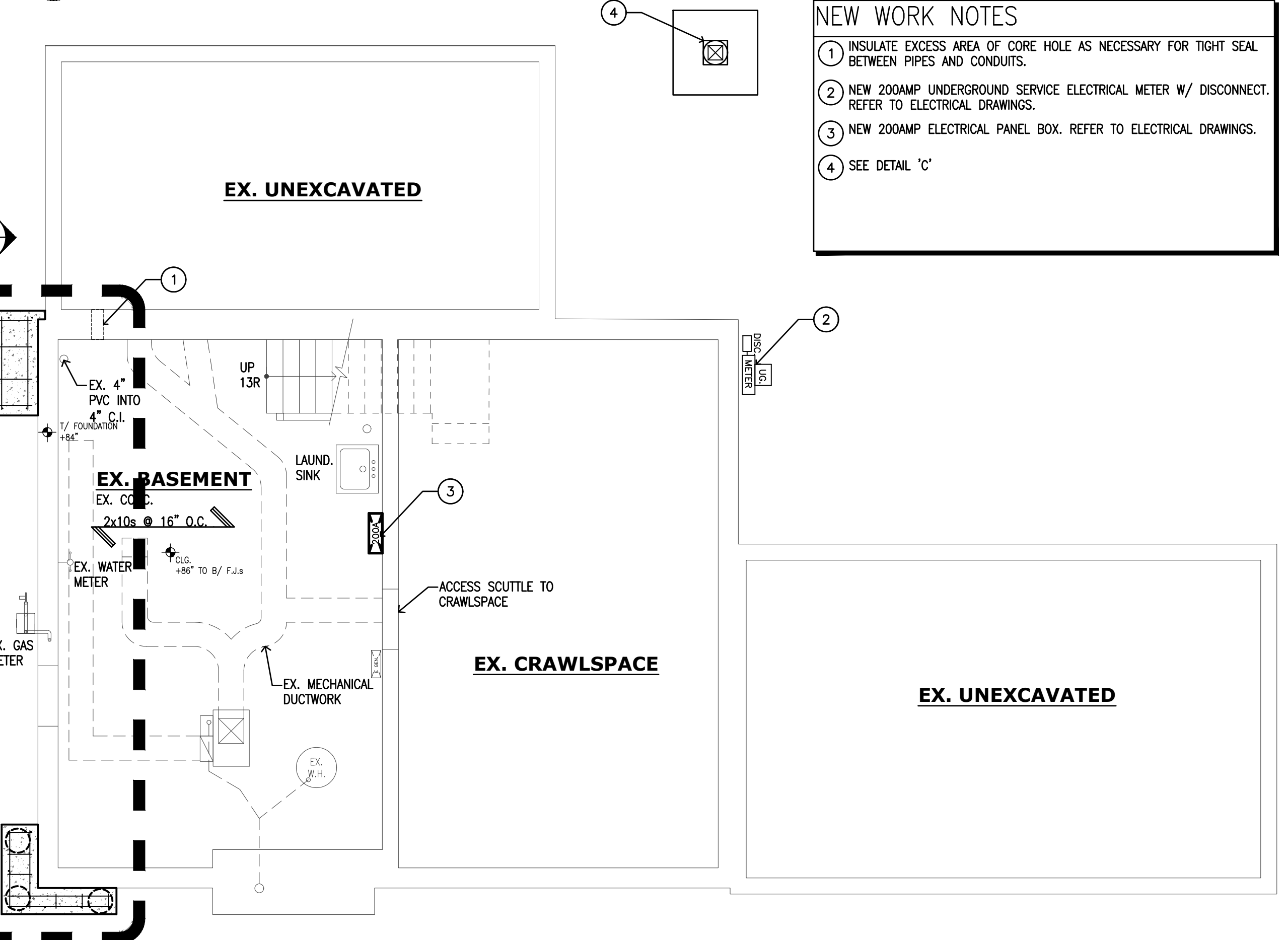
**A TOP CONC. SLAB DETAIL**  
1" = 1'-0"



**B BOTTOM CONC. SLAB DETAIL**  
1" = 1'-0"



**1 EX. DEMO BASEMENT PLAN**  
1/4" = 1'-0"



**2 PROPOSED BASEMENT / FOUNDATION PLAN**  
1/4" = 1'-0"

**DEMO NOTES**

- (A) CORE HOLE FOR STACK & ELEC. HOME RUN.
- (B) DISCONNECT & REMOVE EXIST. 100 AMP OVERHEAD METER AND SERVICE. PREP AREA FOR NEW 200 AMP UNDERGROUND SERVICE. REFER TO ELECTRICAL DRAWINGS.
- (C) DISCONNECT & REMOVE EXIST. 100 AMP PANEL BOX AND SUB-PANEL. PREPARE FOR NEW 200 AMP PANEL BOX, REFER TO ELECTRICAL DRAWINGS.
- (D) HAND DIG AREA FOR NEW POST FOOTING. DIG 42" BELOW GRADE. COORDINATE WD. DECK REMOVAL IN FIELD.

**NEW WORK NOTES**

- (1) INSULATE EXCESS AREA OF CORE HOLE AS NECESSARY FOR TIGHT SEAL BETWEEN PIPES AND CONDUITS.
- (2) NEW 200AMP UNDERGROUND SERVICE ELECTRICAL METER W/ DISCONNECT. REFER TO ELECTRICAL DRAWINGS.
- (3) NEW 200AMP ELECTRICAL PANEL BOX. REFER TO ELECTRICAL DRAWINGS.
- (4) SEE DETAIL 'C'

DEPARTMENT APPROVAL:

**AIRROOM ARCHITECTS & BUILDERS**  
SINCE 1958

Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

**ISSUES & REVISIONS**

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).

DATE SIGNED: 12/05/24

**PRESTON CLAY FAWCETT**  
001-012126  
LICENSED ARCHITECT  
STATE OF ILLINOIS

I/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

**PROJECT INFORMATION:**  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

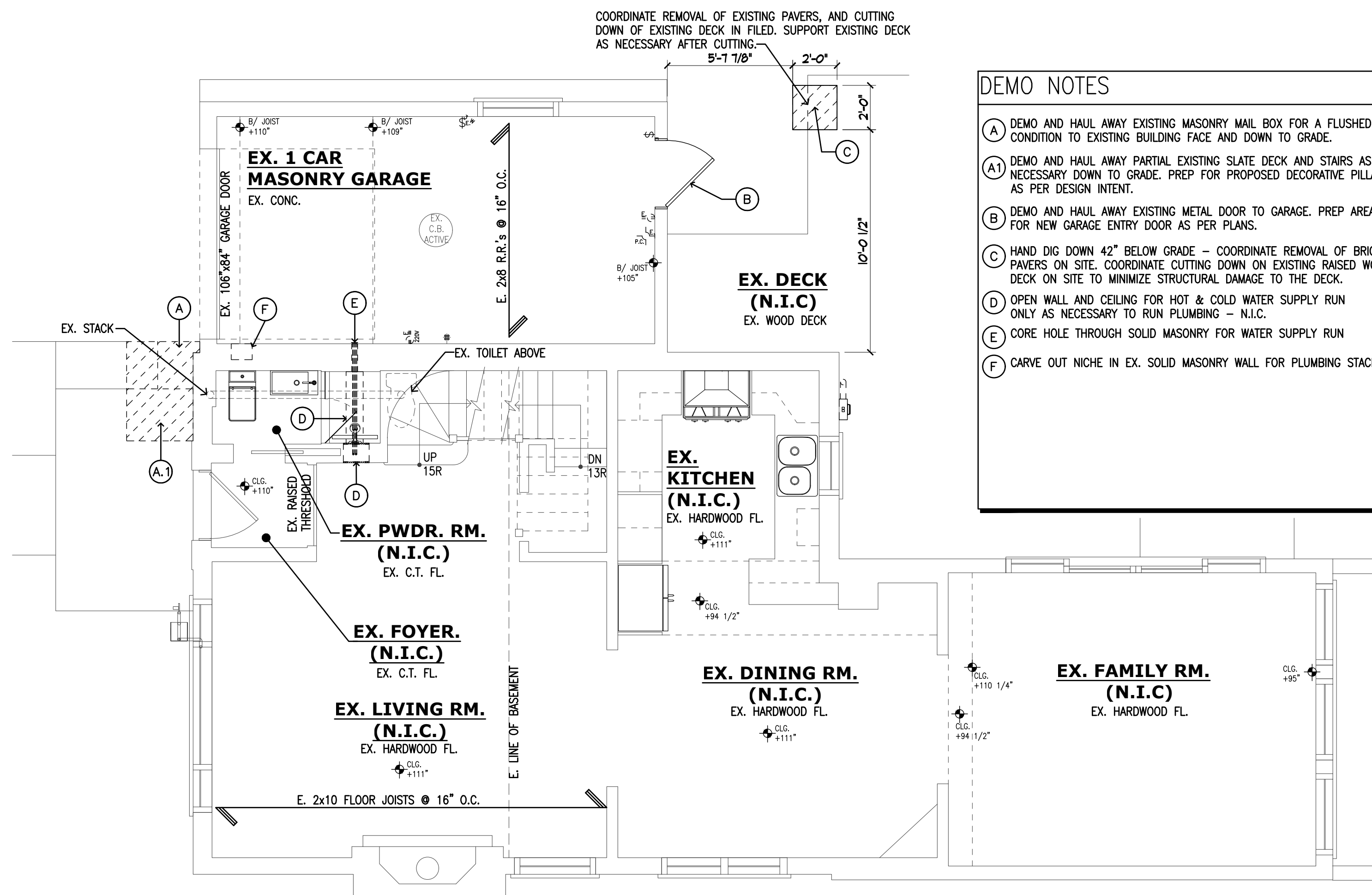
SUPERINTENDENT:  
PROJECT NO.:

**240071**

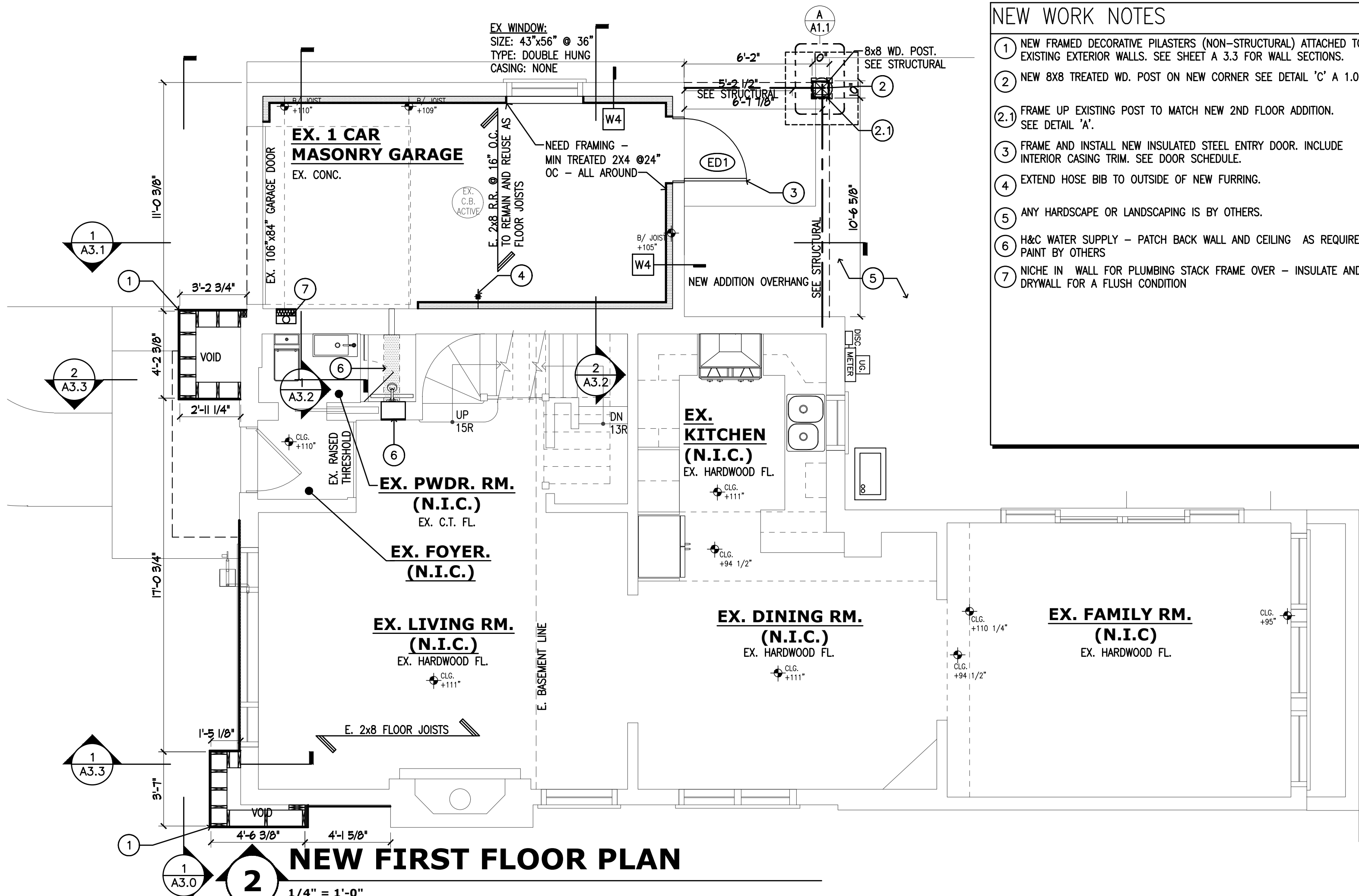
SHEET TITLE:  
**EXISTING BASEMENT PLAN**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND NOT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED OR WORK FORSEASABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC. ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
A1.0  
27  
C68931 - L73226



**1 DEMO FIRST FLOOR PLAN**  
1/4" = 1'-0"



**2 NEW FIRST FLOOR PLAN**  
1/4" = 1'-0"

**A CORNER POST DETAIL**  
1-1/2" = 1'-0"

- DEMO NOTES**
- (A) DEMO AND HAUL AWAY EXISTING MASONRY MAIL BOX FOR A FLUSHED CONDITION TO EXISTING BUILDING FACE AND DOWN TO GRADE.
  - (A1) DEMO AND HAUL AWAY PARTIAL EXISTING SLATE DECK AND STAIRS AS NECESSARY DOWN TO GRADE. PREP FOR PROPOSED DECORATIVE PILLAR AS PER DESIGN INTENT.
  - (B) DEMO AND HAUL AWAY EXISTING METAL DOOR TO GARAGE. PREP AREA FOR NEW GARAGE ENTRY DOOR AS PER PLANS.
  - (C) HAND DIG DOWN 42" BELOW GRADE - COORDINATE REMOVAL OF BRICK PAVERS ON SITE. COORDINATE CUTTING DOWN ON EXISTING RAISED WOOD DECK ON SITE TO MINIMIZE STRUCTURAL DAMAGE TO THE DECK.
  - (D) OPEN WALL AND CEILING FOR HOT & COLD WATER SUPPLY RUN ONLY AS NECESSARY TO RUN PLUMBING - N.I.C.
  - (E) CORE HOLE THROUGH SOLID MASONRY FOR WATER SUPPLY RUN
  - (F) CARVE OUT NICHE IN EX. SOLID MASONRY WALL FOR PLUMBING STACK

**DEMOLITION CONSTRUCTION NOTES:**

**DEMOLITION & BREAKTHROUGH:**

AIRROOM IS NOT RESPONSIBLE FOR THE CONDITION OF THE EXISTING CEILING AND WALLS, AND THE POSSIBILITY OF CRACKING OR PEELING PAINT ON EXISTING CEILING AND WALLS DUE TO CONSTRUCTION AND SETTLEMENT.

NEW CEILING HEIGHTS MAY NOT BE FLUSH WITH EXISTING CEILING HEIGHTS EXACTLY AND NEW FLOORS MAY NOT BE FLUSH WITH EXISTING FLOORS DUE TO CONSTRUCTION MATERIALS AND TECHNIQUES.

AIRROOM IS NOT RESPONSIBLE FOR THE CONDITION OF THE EXISTING CEILING OR WALLS (I.E. IN THE CASE OF A ROOF TEAR-OFF), OR THE POSSIBILITY OF CRACKING OR PEELING PAINT ON EXISTING CEILING AND WALLS DUE TO CONSTRUCTION AND/OR SETTLEMENT. AIRROOM ALSO IS NOT RESPONSIBLE FOR UNKNOWN ELECTRICAL REROUTS OR UNKNOWN PLUMBING PIPES AND MECHANICALS, NOT EXPOSED UNTIL ACTUAL CONSTRUCTION STARTS, IN EXISTING CEILING AND WALLS UNLESS SPECIFICALLY INDICATED ON THE AAC DOCUMENTS.

**FRAMING NOTES:**

**PROTECTION (IF REQUIRED):**  
PROVIDE SPACE PROTECTION AS REQUIRED. LOCATIONS TO BE DETERMINED BY THE SUPERINTENDENT IN THE FIELD.

**FRAMING:**  
PROVIDE SUFFICIENT SHORING @ BREAKTHROUGHS AND REMOVING WALLS (BEARING OR NON BEARING).

GYP. BD. ON ALL WALLS & CEILINGS. ALL GYP. BD. IS TO BE SCREWED AND GLUED, INCLUDING TAPE, MUD, AND SANDING TO A LEVEL 4 FINISH (PER INDUSTRY STANDARDS) AND PRIMED. FINISH PAINTING IS THE RESPONSIBILITY OF THE BUYER (NOT IN CONTRACT).

MINIMUM GRADE STRUCTURAL LUMBER CALCULATED SHALL BE: DOMESTIC HEM-FIR #2, FB=850, E=1,300,000, Fv=75.  
AIRROOM MAY MAKE MINOR VARIATIONS OR SUBSTITUTE MATERIALS OF EQUAL OR BETTER QUALITY W/O CONSENT OF BUYER.

ALL LUMBER FRAMING SHALL BE NAILED WHERE BEAM OR GIRDER CONSTRUCTION IS USED TO SUPPORT FLOOR FRAMING. POSITIVE CONNECTIONS (METAL FASTENERS) SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT.

ALL FASTENERS USED ABOVE GRADE TO ATTACH TREATED LUMBER TO TREATED LUMBER AND LUMBER TO THE PIERS SHALL BE HOT DIPPED GALVANIZED OR EQ.

ALL WOOD IN CONTACT WITH CONCRETE AND UNDER EXTERIOR DOOR SILLS SHALL BE PRESSURE TREATED FOR MOISTURE RESISTANCE

PROVIDE NECESSARY BRACING & SHORING WHEN REMOVING ALL BEARING WALLS.

AIRROOM MAY MAKE MINOR VARIATIONS OR SUBSTITUTE MATERIALS OF EQUAL OR BETTER QUALITY WITHOUT CONSENT OF BUYER.

ALL FLOOR/ROOF/WALL FRAMING SYSTEMS CONSTRUCTED WITH SOLID DIMENSIONAL LUMBER (SUCH AS 2X MEMBERS) OR ENGINEERED STRUCTURAL COMPONENTS (SUCH AS I-JOISTS, GLUE-LAMINATED LUMBER, AND OPEN-WEB FLOOR OR ROOF TRUSSES) SHALL BE PROTECTED BY AT LEAST ONE LAYER OF 5/8" TYPE C OR X GYPSUM WALL BOARD ON ALL CEILINGS & WALLS.

**FIRE STOPPING NOTE:**  
PROVIDE FIRE STOPPING IN NEW CONSTRUCTION AS REQUIRED BY CODE.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS. THIS SHALL INCLUDE THAT NO BACK TO BACK ELECTRICAL JUNCTION BOXES BE INSTALLED IN THE COMMON WALL SHARED BY THE GARAGE & DWELLING.

**POINT LOADS:**  
ALL POINT LOADS FROM COLUMNS AND OTHER BEARING STRUCTURES ARE TO BE CARRIED DOWN TO SOLID BEARING THAT IS DIRECTLY IN CONTACT WITH A FOUNDATION. ALL LOADS ARE TO BE SUPPORTED ON WALLS, COLUMNS AND BEAMS WHICH DIRECTLY TRANSFER THEIR IMPLIED LOADS TO A FOUNDATION OR FOOTING.

- NEW WORK NOTES**
- 1 NEW FRAMED DECORATIVE PILASTERS (NON-STRUCTURAL) ATTACHED TO EXISTING EXTERIOR WALLS. SEE SHEET A.3.3 FOR WALL SECTIONS.
  - 2 NEW 8x8 TREATED WD. POST ON NEW CORNER SEE DETAIL 'C' A.1.0
  - 2.1 FRAME UP EXISTING POST TO MATCH NEW 2ND FLOOR ADDITION. SEE DETAIL 'A'.
  - 3 FRAME AND INSTALL NEW INSULATED STEEL ENTRY DOOR. INCLUDE INTERIOR CASING TRIM. SEE DOOR SCHEDULE.
  - 4 EXTEND HOSE BIB TO OUTSIDE OF NEW FURRING.
  - 5 ANY HARDSCAPE OR LANDSCAPING IS BY OTHERS.
  - 6 H&C WATER SUPPLY - PATCH BACK WALL AND CEILING AS REQUIRED - PAINT BY OTHERS
  - 7 NICHE IN WALL FOR PLUMBING STACK FRAME OVER - INSULATE AND DRYWALL FOR A FLUSH CONDITION

**PLAN LEGEND:**

	WALL TO BE REMOVED
	EX WALL TO REMAIN
	NEW FRAMED WALL
	NEW GYP. BD. CEILING
	EX WINDOW TO REMAIN
	WINDOW TO BE REMOVED
	NEW WINDOW
	EX DOOR TO REMAIN
	DOOR TO BE REMOVED
	NEW DOOR
K.	KILL F.O.S. FACE OF SHEATHING
R.	RELOCATE F.O.B. FACE OF BRICK
R. & R.	REMOVE & RE-INSTALL F.O.C. FACE OF CONCRETE
X	WALL TAG. SEE WALL LEGEND.
W	WINDOW TAG. SEE WINDOW SCHEDULE AND TRIM SCHEDULE ON SHEET G3
D1	INTERIOR DOOR TAG. SEE DOOR SCHEDULE AND TRIM SCHEDULE ON SHEET G3
ED1	EXTERIOR DOOR TAG. SEE DOOR SCHEDULE AND TRIM SCHEDULE ON SHEET G3

DEPARTMENT APPROVAL:

**AIRROOM ARCHITECTS & BUILDERS**  
SINCE 1958

Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

**ISSUES & REVISIONS:**

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).

DATE SIGNED: 12/05/24

**PRESTON CLAY FAWCETT**  
001-012126  
LICENSED ARCHITECT  
STATE OF ILLINOIS

I/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_  
BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_  
AIRROOM REPRESENTATIVE: \_\_\_\_\_ DATE: \_\_\_\_\_

**PROJECT INFORMATION:**  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

**PROJECT TEAM:**

PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SADEH
PCO TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

**240071**

SHEET TITLE:  
**DEMO/NEW FIRST FLOOR PLANS**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION BY THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

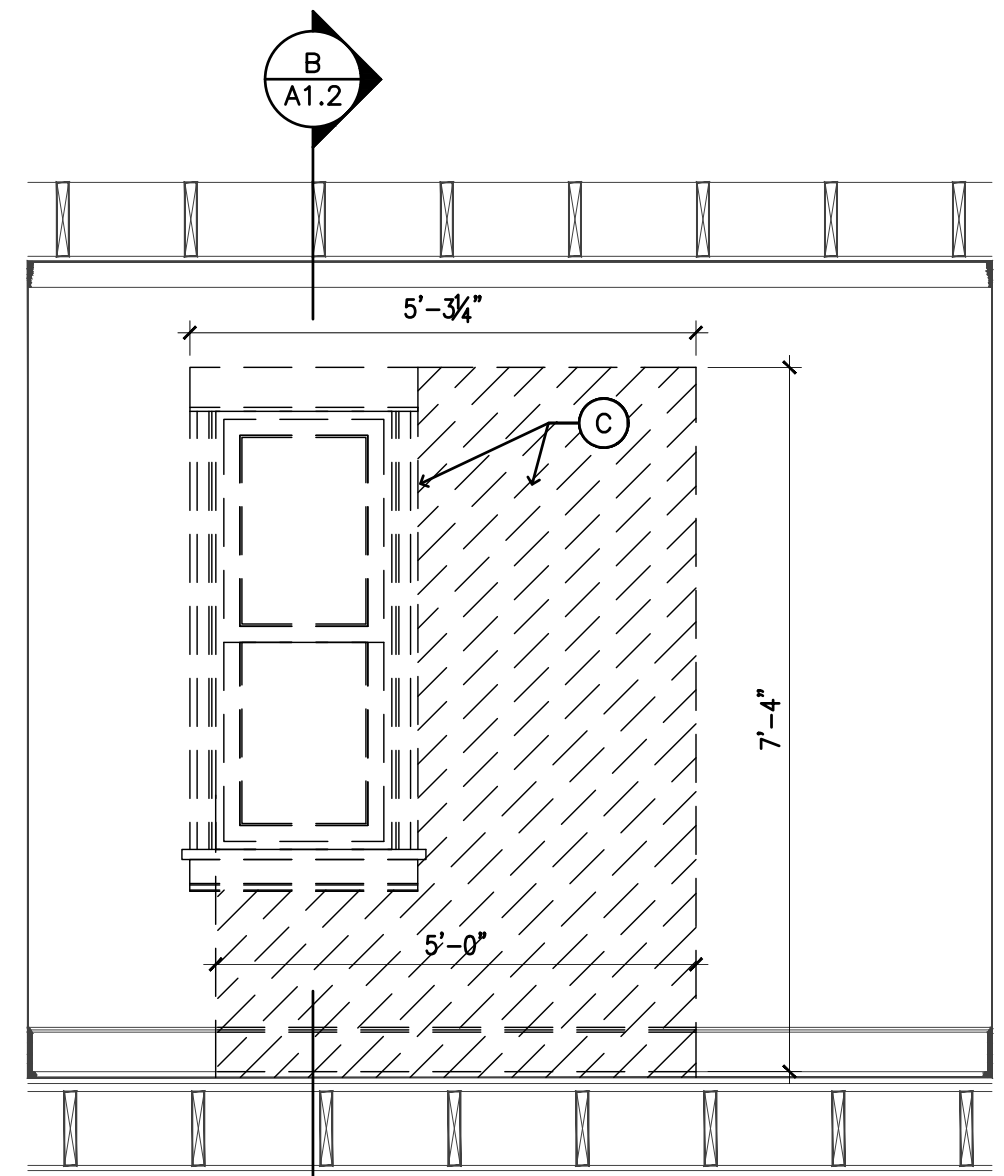
© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
A&D REFERENCE  
**C68931 - L73226**

**A1.1**  
**27**

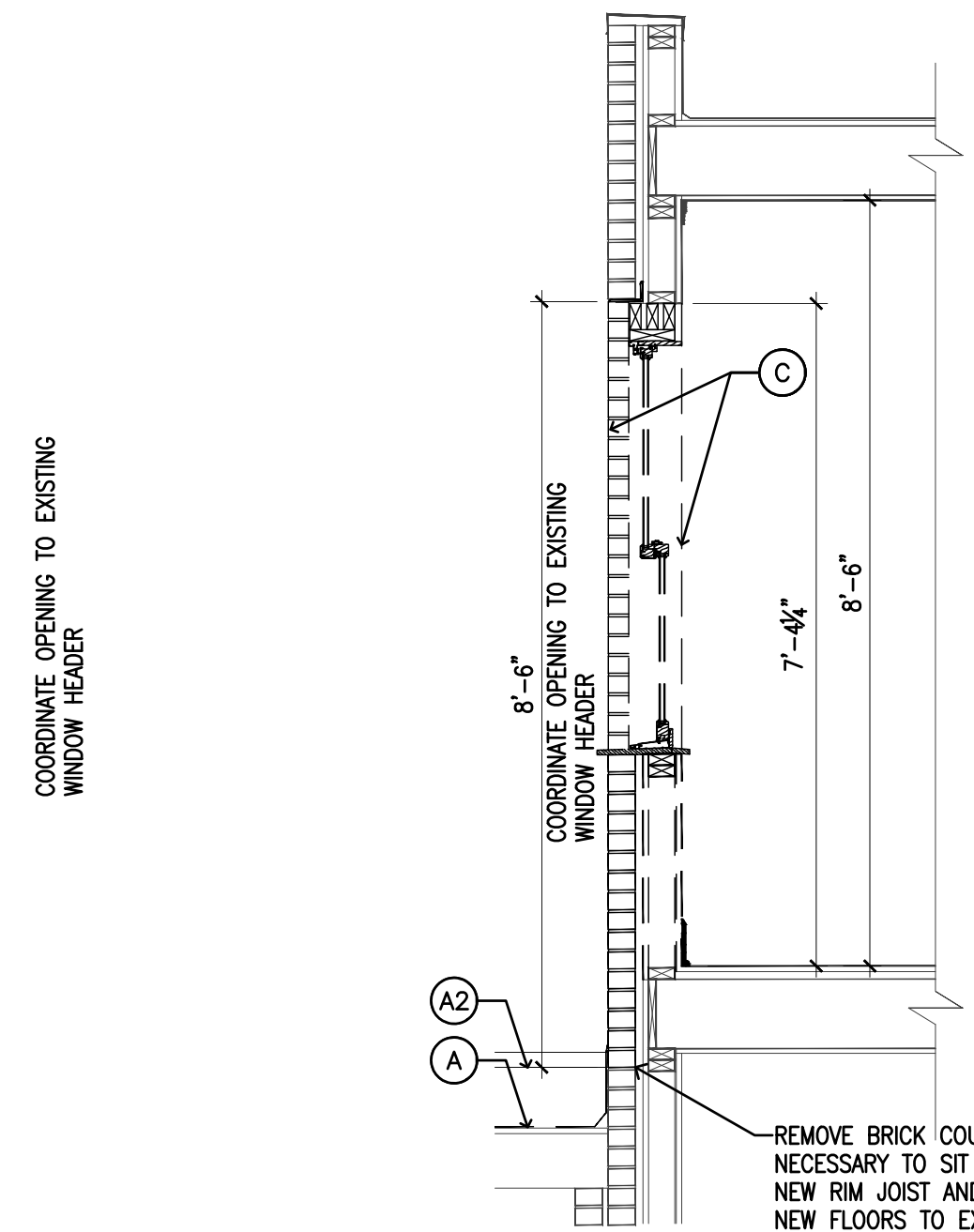
- ### DEMO NOTES
- (A) DEMO AND HAUL AWAY EXISTING GARAGE RUBBER ROOFING & SHEATHING.
  - (A1) DEMO AND HAUL AWAY EXISTING SCUPPER AND DOWNSPOUT.
  - (A2) REMOVE EXISTING ROOFING/COPING/FLASHING TO EXPOSE EXISTING POSSIBLE WOOD SILL PLATE AND ANCHORAGE. REPORT FINDINGS TO ARCHITECT TO DETERMINE IF POSSIBLE TO REUSE EXISTING SILL PLATE AND ANCHORAGE. IF NOT POSSIBLE TO REUSE ATTACH A TREATED 2X8 PLATE TO TOP OF EXISTING SOLID MASONRY WALL WITH 1/2" GALV. THREADED ROD SET IN EPOXY - MIN. EMBEDMENT TO BE 12".
  - (B) DEMO AND HAUL AWAY EXISTING WINDOWS INCLUDING JAMB AND EXTERIOR TRIM.
  - (C) BREAK-THRU EXISTING EXTERIOR MASONRY AS PER PLAN. SEE INTERIOR AND WALL SECTION 'A' FOR FORECAST DEMO. PROVIDE TEMPORARY SHORING TO NEW CREATED OPENING. SEE MASONRY DEMO NOTES. REMOVE EXISTING WINDOW INCLUDING JAMB AND EXTERIOR & INTERIOR TRIM.

### MASONRY DEMO NOTES

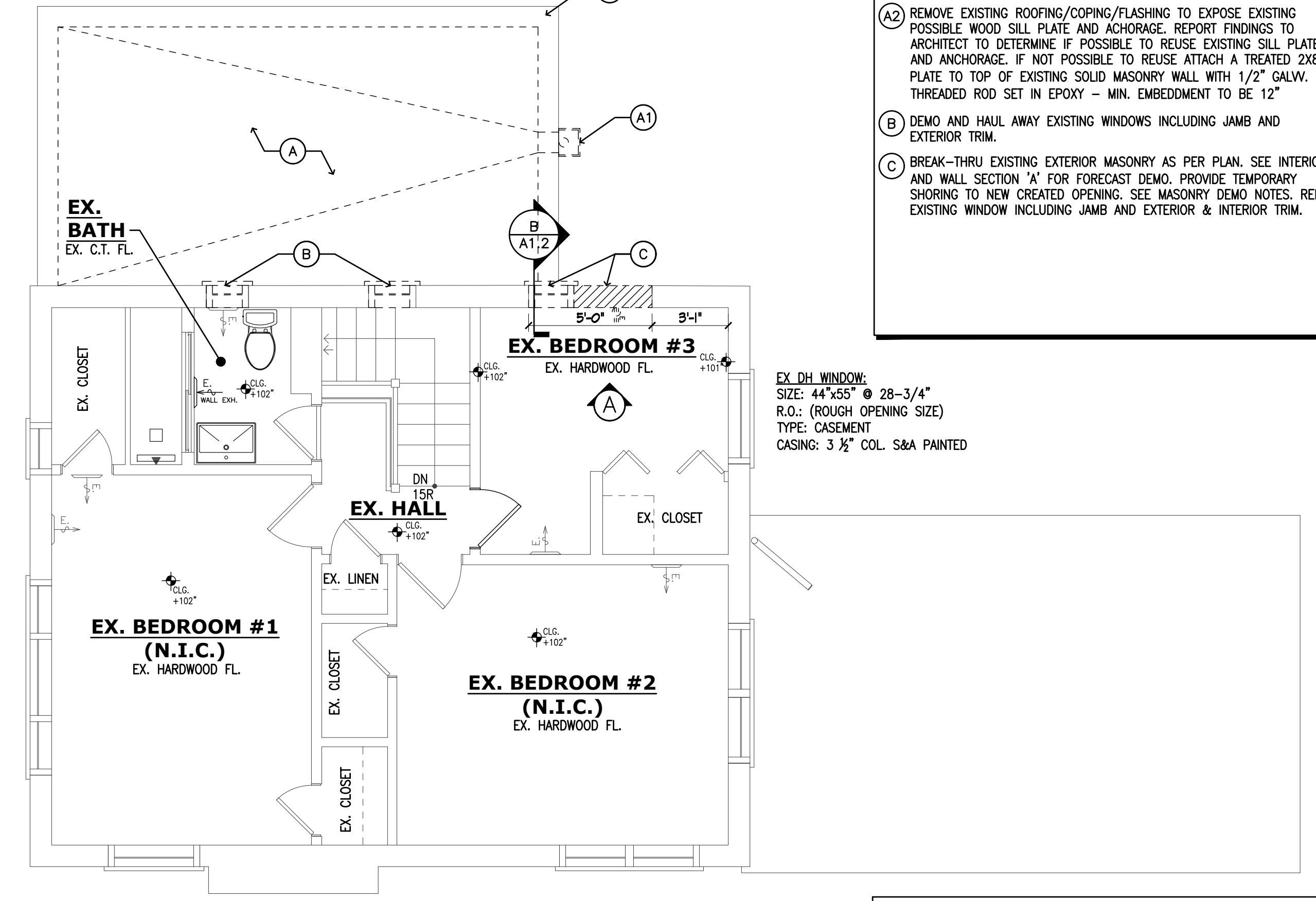
TEMPORARY SHORING SHALL BE PROVIDED TO SUPPORT THE EXISTING MASONRY VENEER AND LOAD-BEARING FRAME WALL. SHORING SYSTEM MUST BE DESIGNED TO BEAR THE FULL LOAD OF THE MASONRY VENEER AND WOOD FRAMING, ENSURING NO SETTLEMENT OR DISPLACEMENT OCCURS DURING DEMOLITION. SHORING SHOULD BE POSITIONED TO MAINTAIN THE LOAD PATH AND PREVENT ANY LATERAL MOVEMENT OF THE WALL STRUCTURE. WHERE NECESSARY, TEMPORARY REMOVE PORTIONS OF THE MASONRY VENEER TO INSTALL THE REQUIRED LINTEL FOR THE NEW OPENING. ONCE SHORING IS IN PLACE, THE EXISTING WALL CAN BE CAREFULLY CUT TO CREATE THE NEW OPENING.



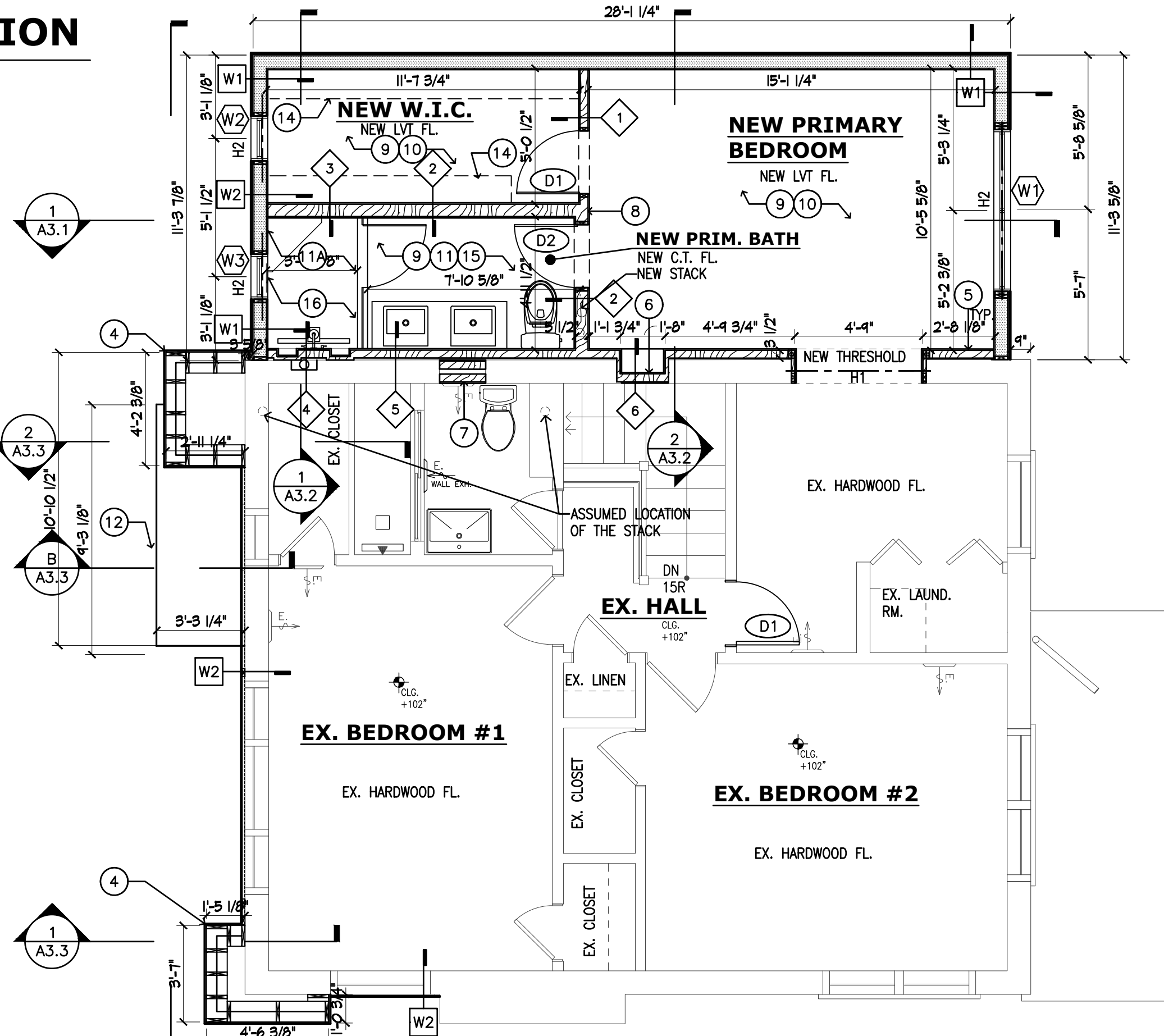
**A INT. DEMO ELEVATION**  
1/2" = 1'-0"



**B PARTIAL WALL SECTION**  
1/2" = 1'-0"



**1 DEMO SECOND FLOOR PLAN**  
1/4" = 1'-0"



**2 NEW SECOND FLOOR PLAN**  
1/4" = 1'-0"

- ### NEW ADDITION NOTES
- (1) NEW ADDITION EXTERIOR WALL. SEE WALL TAGS W1 & W2 ON SHEET A1.0.
  - (2) NEW RAIN SCREEN W/ LAP SIDING OVER EXISTING BRICK VENEER. SEE TAG W3 ON SHEET A.1.0.
  - (3) FRAME OUT AND INSTALL NEW WINDOWS AS PER WINDOW SCHEDULE ON SHEET G2. INCLUDE BUTYL FLASHING TAPE PROTECTION AT PERIMETER OF OPENINGS. INCLUDE ICE AND WATER SHIELD PROTECTION AT WINDOW SILLS. INCLUDE INTERIOR CASING TRIMS.
  - (4) NEW FRAMED DECORATIVE PILASTERS (NON-STRUCTURAL) ATTACHED TO EXISTING EXTERIOR WALLS. SEE SHEET A3.3 FOR WALL SECTION.
  - (5) FURRED OUT EXISTING EXTERIOR WALL W/ 2x4 WD. FRAME AND INSTALL 5/8" GYP. BOARD. SEE PARTITION TAG P5 SHEET A4.0.
  - (6) FURRED OUT EXISTING WINDOW OPENING W/ 2x4 WD. FRAME AND 5/8" KRAFT FACED INSULATION. SEE PARTITION TAG P6 SHEET A4.0.
  - (7) FURRED OUT EXISTING WINDOW OPENING W/ 2x4 WD. FRAME AND 5/8" GYP. BOARD, FLUSHED AT EACH END OF WALL FOR FLUSHED CONDITIONS. SEE PARTITION TAGS FOR REFERENCE.
  - (8) FRAME OUT NEW INTERIOR PARTITION WALLS W/ 2x4 WD. FRAME AND INSTALL 5/8" GYP. BOARD EACH SIDE. SEE PARTITION TAG P1 & P2 SHEET A4.0.
  - (9) FRAME OUT NEW CEILING JOISTS W/ NEW 2x6 WD. FRAME AND INSTALL 5/8" GYP. BOARD & 1 LAYER OF 3/4" PLYWOOD SUB-FLOOR. SEE WALL SECTIONS AND STRUCTURAL SHEETS FOR REFERENCE.
  - (10) INSTALL NEW LVT FLOORING INCLUDING LUXURY VINYL TRIM AND LUXURY VINYL NOSING OVER NEW 3/4" T&G SUB-FLOORING OVER NEW FLOOR JOISTS @ 16" O.C. SEE WALL SECTIONS FOR REFERENCE.
  - (11) INSTALL NEW CERAMIC TILE FLOORING INCLUDING CEMENT BACKER BOARD SUBSTRATE OVER NEW 3/4" T&G SUB-FLOORING OVER NEW FLOOR JOISTS @ 16" O.C. SEE WALL SECTIONS FOR REFERENCE.
  - (12) SEE (11) INCLUDE WATER PROOFING MEMBRANE SYSTEM FOR SHOWER SUBSTRATE AS REQUIRED FOR WATER PROOFED SHOWER ENCLOSURE. SEE WALL SECTIONS FOR REFERENCE.
  - (13) FRAME OUT NEW PORTICO ENTRY CANOPY W/ 2x4 WD. FRAMING INCLUDE 1/2" PLYWOOD SHEATHING. INCLUDE EPDM RUBBER ROOFING INCLUDING 75# FIBERGLASS BASE SHEET. INCLUDE PRESSURE RELEASE FLAT ROOF VENTING AS REQUIRED AND ICE & WATER SHIELD AT PERIMETERS OF EAVE OVERHANG. SEE WALL SECTIONS AND STRUCTURAL SHEETS FOR REFERENCE.
  - (14) FRAME OUT NEW INTERIOR PRE-HUNG SINGLE SWING DOORS AS PER DOOR SCHEDULE. INCLUDE INTERIOR CASING TRIM. SEE DOOR SCHEDULE.
  - (15) SUPPLY CARPENTRY AND LABOR TO INSTALL STANDARD MELAMINE COATED CLOSET SHELF AND ROD.
  - (16) INSTALL NEW PLUMBING FIXTURES INCLUDE PVC "ROUGH" INCLUDING COPPER HOT/COLD WATER SUPPLIES AND PVC WASTE AND VENT AS DESCRIBED BELOW:
    - (1) TOILET
    - (2) VANITY SINKS
    - (3) VANITY FAUCETS
    - (4) SINGLE SHOWER HEAD AND CONTROL VALVE.
 FRAME OUT NEW SHOWER ENCLOSURE AS DESCRIBED BELOW:
    - INSTALL FRAME GLASS SHOWER ENCLOSURE W/ 1/4" GLASS & CHROME FRAME AS PER PLANS.
    - FRAME OUT SHOWER THRESHOLDS AS PER PLANS
    - INSTALL CERAMIC TILE THRESHOLD FOR SHOWER BASE
    - INCLUDE (1) TILED SHOWER SEAT
    - INCLUDE (1) TILED WALL NICHE
    - INCLUDE FRAME DETAIL FOR (1) WALL NICHE

DEPARTMENT APPROVAL:

**AIROOM ARCHITECTS & BUILDERS**  
SINCE 1958  
Airoom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airoom.com  
Email: info@airoom.com

### ISSUES & REVISIONS

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIROOM ARCHITECTS CORP. AIROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

### CERTIFICATION STATEMENT:

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).

DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIROOM REPRESENTATIVE	DATE

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT COORDINATOR	LAURA DRATHS
PROJECT MANAGER	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT	PRESTON FAWCETT
PROJECT DEV. MANAGER	BRIAN HOSPEL
ARCHITECT TEAM	JORGE MATA/HARON SAADEH
PCO TEAM	ROBYN RUE
KITCHEN & BATH TEAM	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM	ARMANDO SALAZAR, ADAM RUNNELS

SHEET NO. : **240071**

SHEET TITLE : **DEMO/NEW SECOND FLOOR PLANS**

DATE: 11/15/24

PROJECT NO. : **A1.2**

27

© 2024 AIROOM ARCHITECTS CORP. 11/15/24  
C68931 - L73226

D

C

B

A

**DEMO ROOF NOTES**

(A) DEMO GARAGE ROOF AS PER SHEET A 1.2 NOTES

**ROOF NOTES**

AIROOM IS NOT RESPONSIBLE FOR THE CONDITION OF EXISTING ROOFING OR SHEATHING (E.G. IN THE CASE OF A ROOF REPLACEMENT), IF NEW SHEATHING IS REQUIRED, BUYER WILL BE CHARGED ADDITIONAL LABOR AND MATERIAL COSTS, UNLESS THAT WORK IS SPECIFIED ON THE A/C DOCUMENTS.

ALL WOOD CEILING, INCLUDING OPEN BEAM AND POST CEILING, WILL HAVE KNOTS, CHECKS, MINOR SPLITS AND CRACKS, COLOR VARIATION AND SHRINKAGE. THESE ARE NATURAL CONDITIONS FOR WOOD AND ARE WITHIN THE ACCEPTABLE STANDARDS FOR THE INDUSTRY. THESE IMPERFECTIONS ARE COSMETIC AND DO NOT REDUCE THE STRUCTURAL STRENGTH REQUIRED OF THE LUMBER OR THE CHARACTER OF THE WOOD, AND THEREFORE ARE NOT TO BE CONSIDERED DAMAGED OR DEFECTIVE BY BUYER. THIS IS AN ACCEPTABLE CONSTRUCTION VARIANCE.

AIROOM IS NOT RESPONSIBLE FOR THE CONDITION OF THE EXISTING ROOF SHEATHING DUE TO DRY ROT, MISSING SHEATHING OR OTHER CONDITIONS. IF NEW SHEATHING IS REQUIRED, AND IF IT IS NOT PART OF THE CONTRACT DOCUMENTS, THE COST FOR THE ADDITIONAL WORK TO REMOVE SAID DAMAGED SHEATHING AND INSTALL NEW SHEATHING IT SHALL BE AGREED UPON IN WRITING BEFORE ANY RELATED WORK IS STARTED. AIROOM IS NOT RESPONSIBLE FOR POSSIBLE ADDITIONAL COSTS DUE TO UNFORESEEN OR HIDDEN ADDITIONAL LAYERS OF ROOFING, SHINGLES, AND SIDING/SHEATHING ON THE EXISTING STRUCTURE, THAT MAY REQUIRE ADDITIONAL FURRING OR SHEATHING ON NEW ADDITIONS. IF ADDITIONAL WORK IS REQUIRED, AND IF IT IS NOT PART OF THE CONTRACT DOCUMENTS, THE COST FOR THE ADDITIONAL WORK TO REMOVE SAID DAMAGED SHEATHING AND INSTALL NEW SHEATHING SHALL BE AGREED UPON IN WRITING BEFORE ANY RELATED WORK IS STARTED.

NEW SHINGLES ARE TO BE FROM AVAILABLE NON-CUSTOM, LOCALLY STOCKED MATERIALS. BUYER UNDERSTANDS THAT THE NEW SHINGLES MAY NOT BE AN EXACT MATCH TO THE EXISTING SHINGLES SINCE THE EXISTING COLOR AND STYLE MAY NO LONGER BE AVAILABLE FROM MANUFACTURER. AIROOM WILL MAKE A DETERMINATION IN THE FIELD, AND BUYER WILL APPROVE THE FINAL CHOICE OF SHINGLES IN WRITING BEFORE INSTALLATION, AND BUYER'S APPROVAL SHALL NOT BE UNREASONABLY WITHHELD OR DELAYED.

DEPARTMENT APPROVAL:

**AIROOM ARCHITECTS & BUILDERS**  
SINCE 1958

Airoom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airoom.com  
Email: info@airoom.com

ISSUES & REVISIONS:

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIROOM ARCHITECTS CORP. AIROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).



DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

AIROOM REPRESENTATIVE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:

PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPES
ARCHITECT TEAM:	JORGE MATA/HARON SADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

SHEET NO.:

**240071**

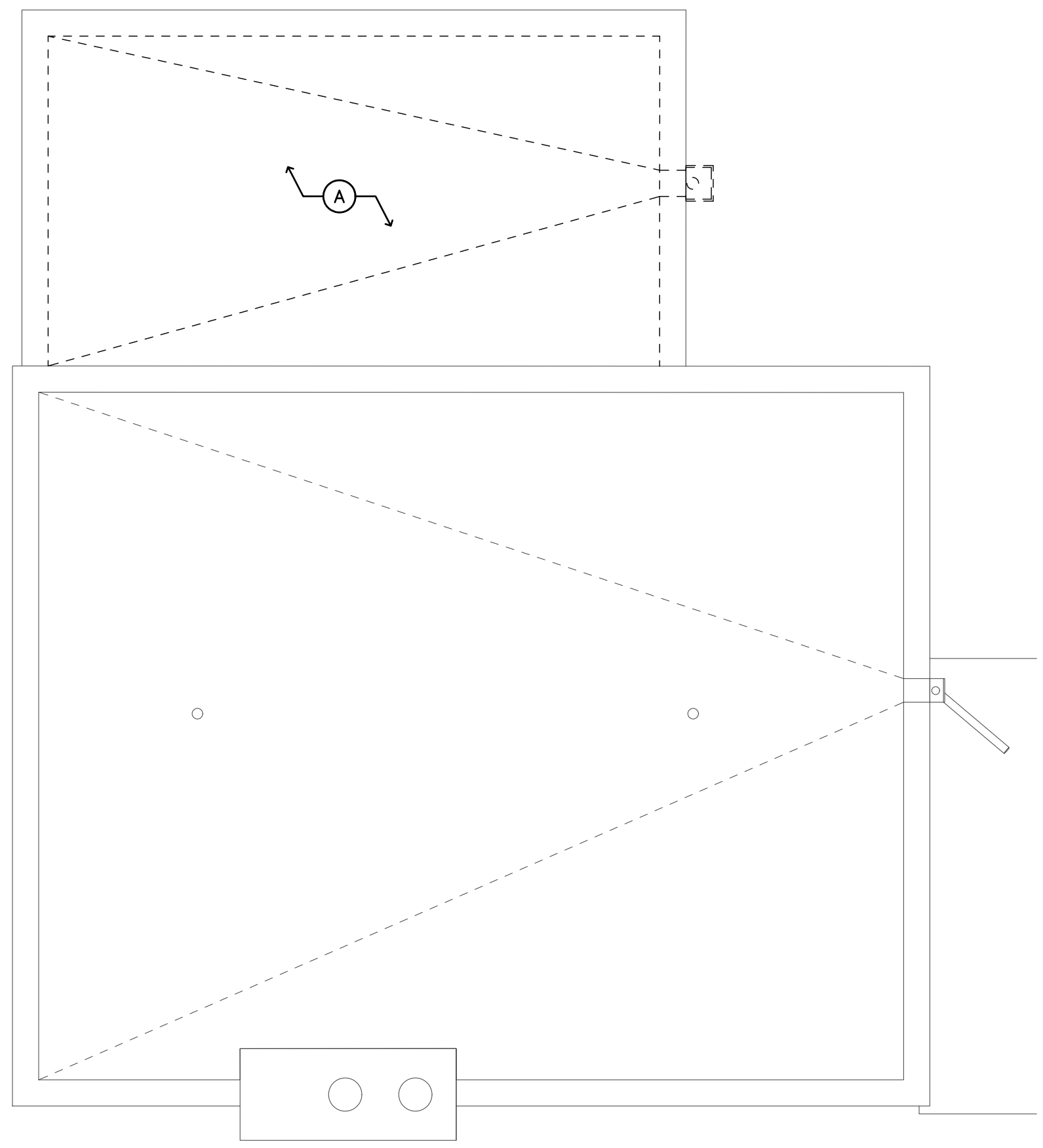
SHEET TITLE:

**DEMO/NEW ROOF PLANS**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND NOT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIROOM ARCHITECTS CORP. 11/15/24  
A/C REFERENCE:  
**C68931 - L73226**

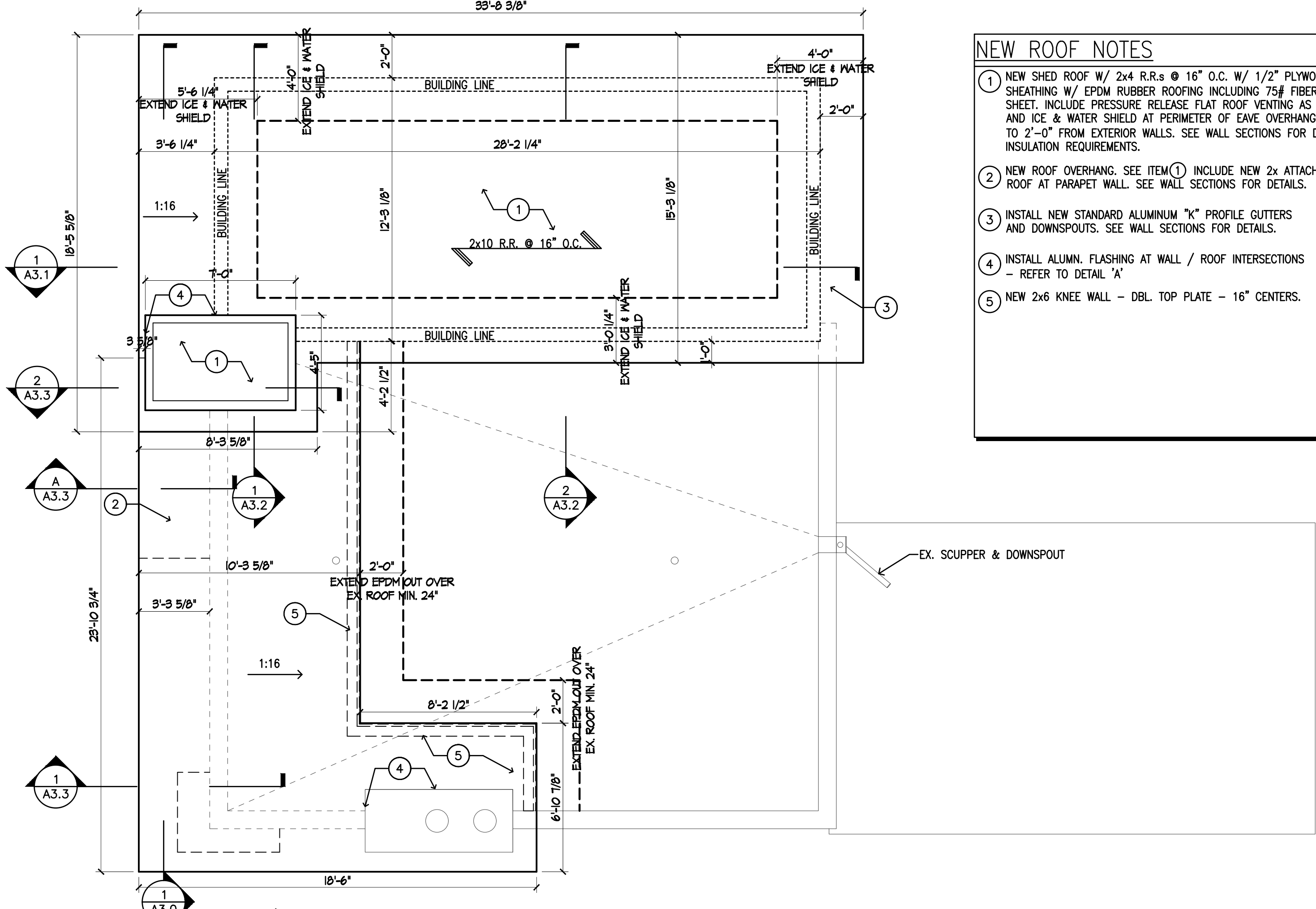
**A1.3**  
27



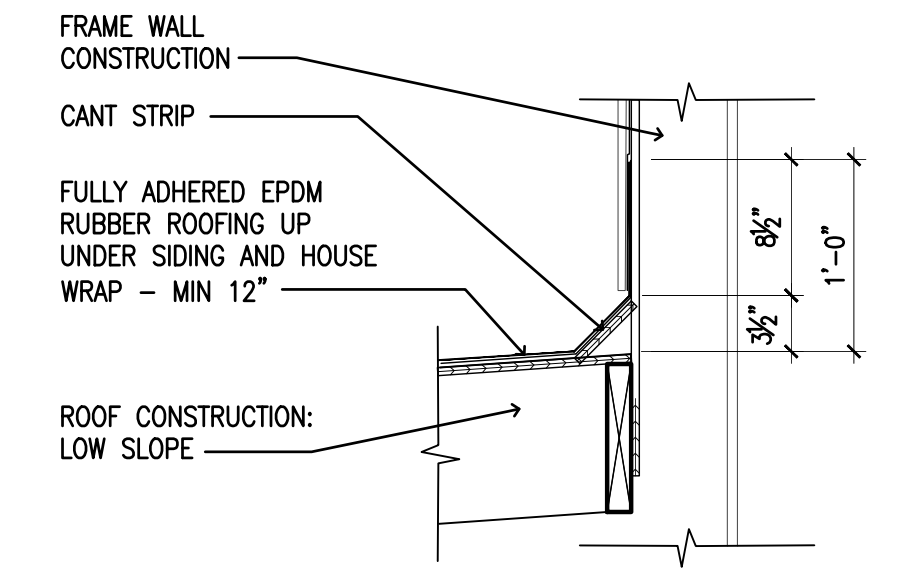
**1 DEMO ROOF PLAN**  
1/4" = 1'-0"

**NEW ROOF NOTES**

- NEW SHED ROOF W/ 2x4 R.R.s @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING W/ EPDM RUBBER ROOFING INCLUDING 75# FIBERGLASS BASE SHEET. INCLUDE PRESSURE RELEASE FLAT ROOF VENTING AS REQUIRED AND ICE & WATER SHIELD AT PERIMETER OF EAVE OVERHANGS AND UP TO 2'-0" FROM EXTERIOR WALLS. SEE WALL SECTIONS FOR DETAILS AND INSULATION REQUIREMENTS.
- NEW ROOF OVERHANG. SEE ITEM (1) INCLUDE NEW 2x ATTACHMENT TO ROOF AT PARAPET WALL. SEE WALL SECTIONS FOR DETAILS.
- INSTALL NEW STANDARD ALUMINUM "X" PROFILE CUTTERS AND DOWNSPOUTS. SEE WALL SECTIONS FOR DETAILS.
- INSTALL ALUMN. FLASHING AT WALL / ROOF INTERSECTIONS - REFER TO DETAIL 'A'
- NEW 2x6 KNEE WALL - DBL. TOP PLATE - 16" CENTERS.

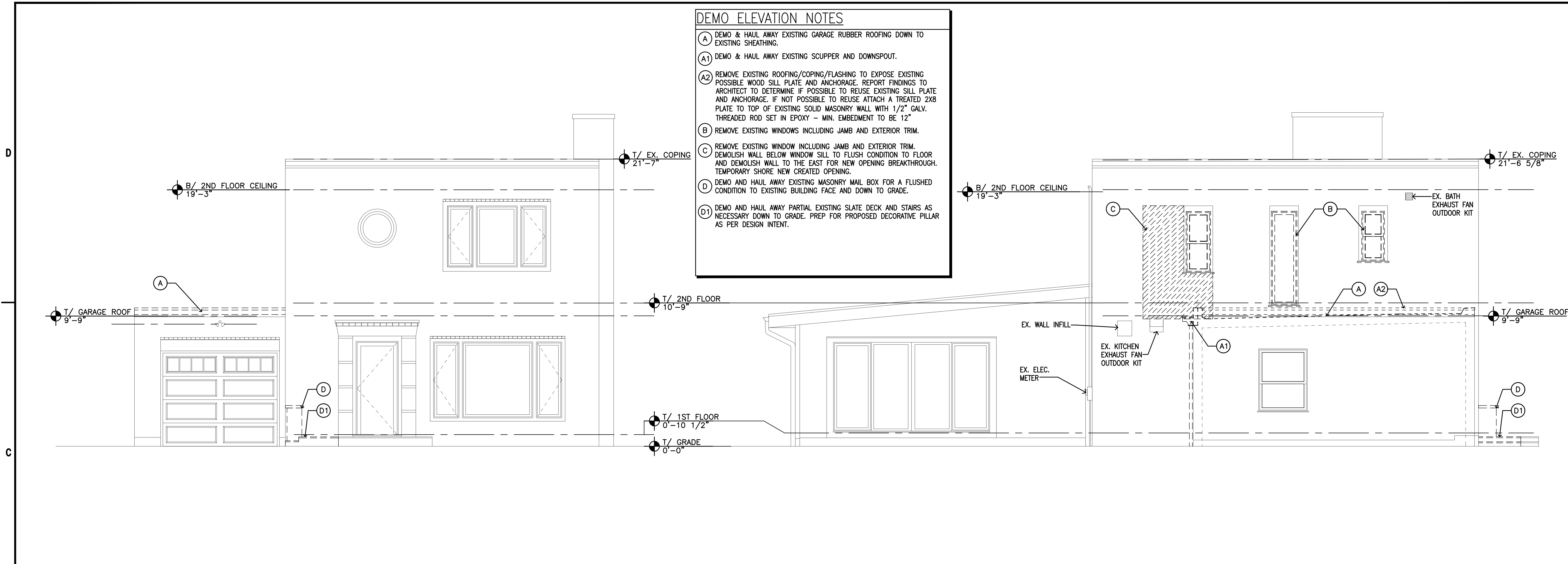


**2 NEW ROOF PLAN**  
1/4" = 1'-0"



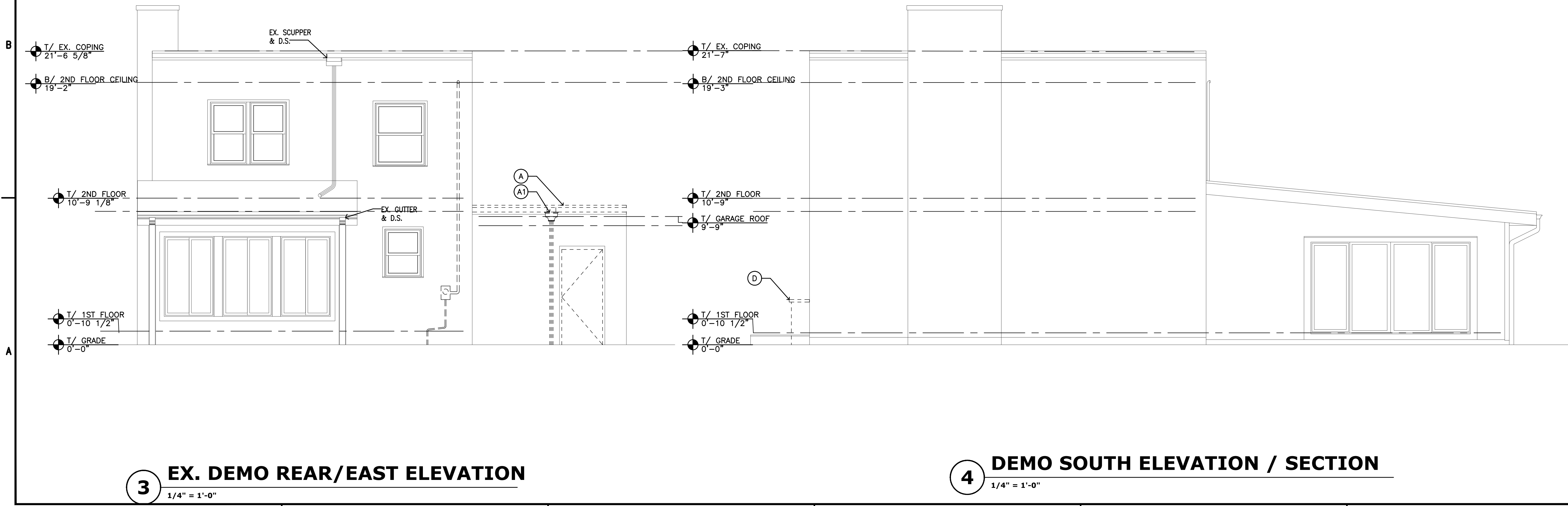
**A FLASHING - SIDING - LOW SLOPE 1**  
1" = 1'-0"

- DEMO ELEVATION NOTES**
- (A) DEMO & HAUL AWAY EXISTING GARAGE RUBBER ROOFING DOWN TO EXISTING SHEATHING.
  - (A1) DEMO & HAUL AWAY EXISTING SCUPPER AND DOWNSPOUT.
  - (A2) REMOVE EXISTING ROOFING/COPING/FLASHING TO EXPOSE EXISTING POSSIBLE WOOD SILL PLATE AND ANCHORAGE. REPORT FINDINGS TO ARCHITECT TO DETERMINE IF POSSIBLE TO REUSE EXISTING SILL PLATE AND ANCHORAGE. IF NOT POSSIBLE TO REUSE ATTACH A TREATED 2X8 PLATE TO TOP OF EXISTING SOLID MASONRY WALL WITH 1/2" GALV. THREADED ROD SET IN EPOXY - MIN. EMBEDMENT TO BE 12"
  - (B) REMOVE EXISTING WINDOWS INCLUDING JAMB AND EXTERIOR TRIM.
  - (C) REMOVE EXISTING WINDOW INCLUDING JAMB AND EXTERIOR TRIM. DEMOLISH WALL BELOW WINDOW SILL TO FLUSH CONDITION TO FLOOR AND DEMOLISH WALL TO THE EAST FOR NEW OPENING BREAKTHROUGH. TEMPORARY SHORE NEW CREATED OPENING.
  - (D) DEMO AND HAUL AWAY EXISTING MASONRY MAIL BOX FOR A FLUSHED CONDITION TO EXISTING BUILDING FACE AND DOWN TO GRADE.
  - (D1) DEMO AND HAUL AWAY PARTIAL EXISTING SLATE DECK AND STAIRS AS NECESSARY DOWN TO GRADE. PREP FOR PROPOSED DECORATIVE PILLAR AS PER DESIGN INTENT.



**1 EX. DEMO FRONT/WEST ELEVATION**  
1/4" = 1'-0"

**2 DEMO SOUTH ELEVATION**  
1/4" = 1'-0"



**3 EX. DEMO REAR/EAST ELEVATION**  
1/4" = 1'-0"

**4 DEMO SOUTH ELEVATION / SECTION**  
1/4" = 1'-0"

DEPARTMENT APPROVAL:

**AIRROOM**  
ARCHITECTS & BUILDERS  
SINCE 1958  
Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

ISSUES & REVISIONS:

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

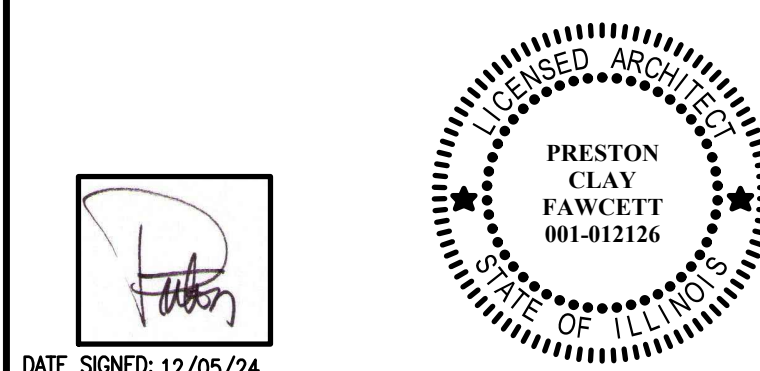
THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).



DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

AIRROOM REPRESENTATIVE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT INFORMATION:

**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS
SUPERINTENDENT:	

PROJECT NO.:

**240071**

SHEET TITLE:

**DEMO ELEVATIONS**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND VISIT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24

AFD REFERENCE  
**C68931 - L73226**

**A2.1**  
**27**

DEPARTMENT APPROVAL:

**AIRROOM**  
**ARCHITECTS & BUILDERS**  
 SINCE 1958  
 Airroom Architects Corp.  
 6825 N. Lincoln Avenue  
 Lincolnwood, Illinois 60712  
 Phone: (847) 763-1100 Fax: (847) 679-0446  
 Website: www.airroom.com  
 Email: info@airroom.com

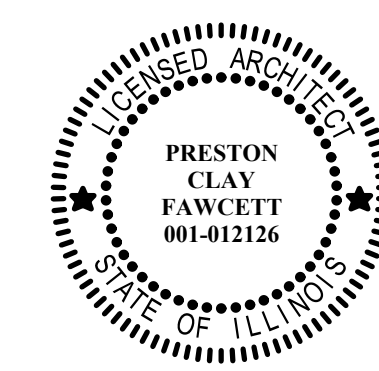
ISSUES & REVISIONS	
ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND ADOPTED BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**  
 I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).



DATE SIGNED: 12/05/24

I/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

**PROJECT INFORMATION:**  
**BOULAHANIS / NEIRA**  
 NANCY & JULIO  
 1523 CLINTON PL  
 RIVER FOREST, IL 60505  
 (708)691-1302  
 njb3105@gmail.com

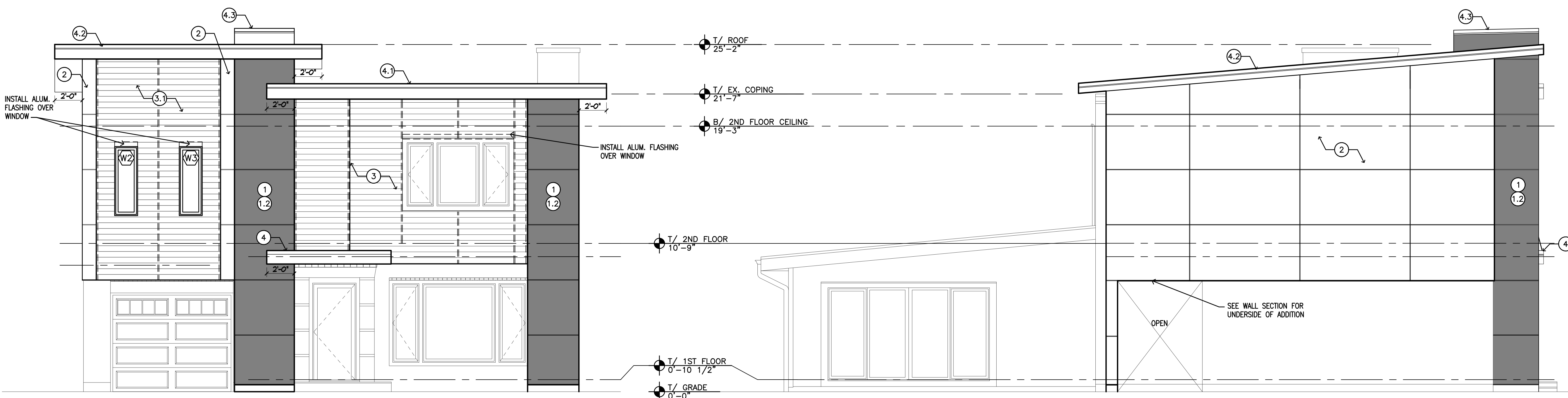
PROJECT COORDINATOR	LAURA DRATHS
PROJECT MANAGER	BRETT HENTHORNY / ROBERT LISK
PROJECT ARCHITECT	PRESTON FAWCETT
PROJECT DEV. MANAGER	BRIAN HOSPEL
ARCHITECT TEAM	JORGE MATA/HARON SADEEH
PCC TEAM	ROBYN RUE
KITCHEN & BATH TEAM	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM	ARMANDO SALAZAR, ADAM RUNNELS

SUPERINTENDENT:  
 PROJECT NO.:

**240071**  
 SHEET TITLE:  
**NEW ELEVATIONS**

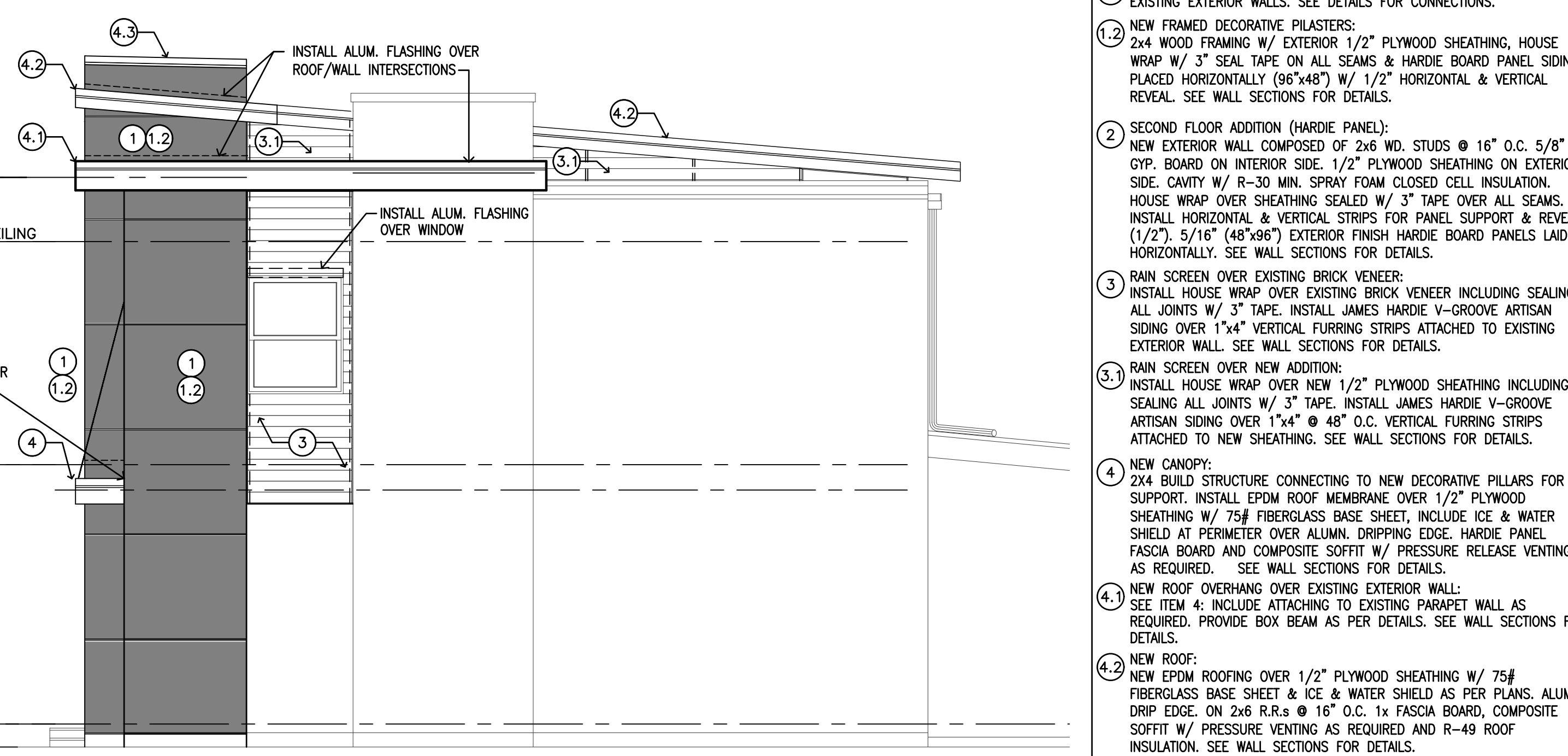
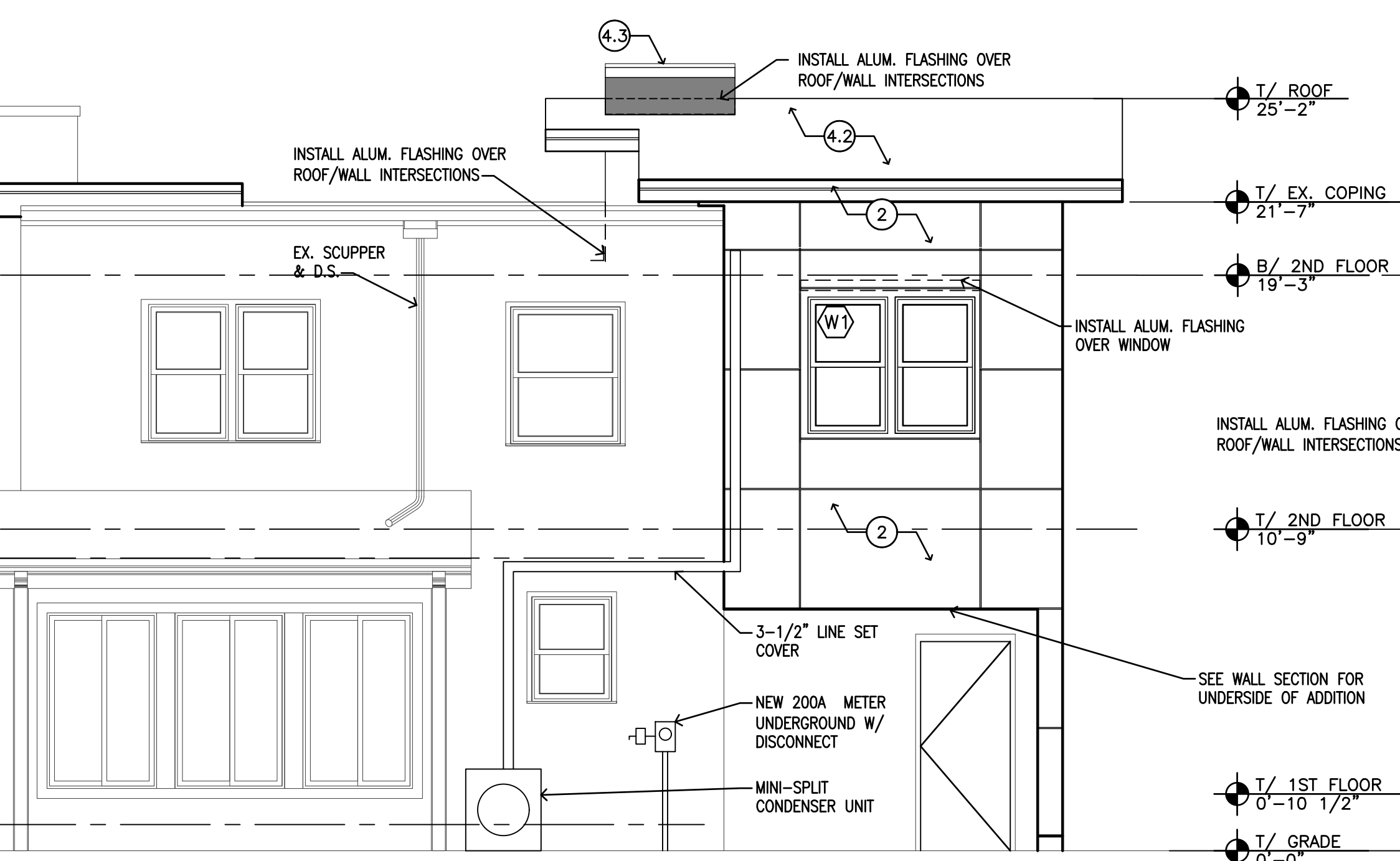
DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND NOT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORSEASABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.  
 © 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
 AFD REFERENCE  
**C68931 - L73226**

**A2.2**  
**27**



**1 NEW FRONT/WEST ELEVATION**  
 1/4" = 1'-0"

**2 NEW NORTH ELEVATION**  
 1/4" = 1'-0"

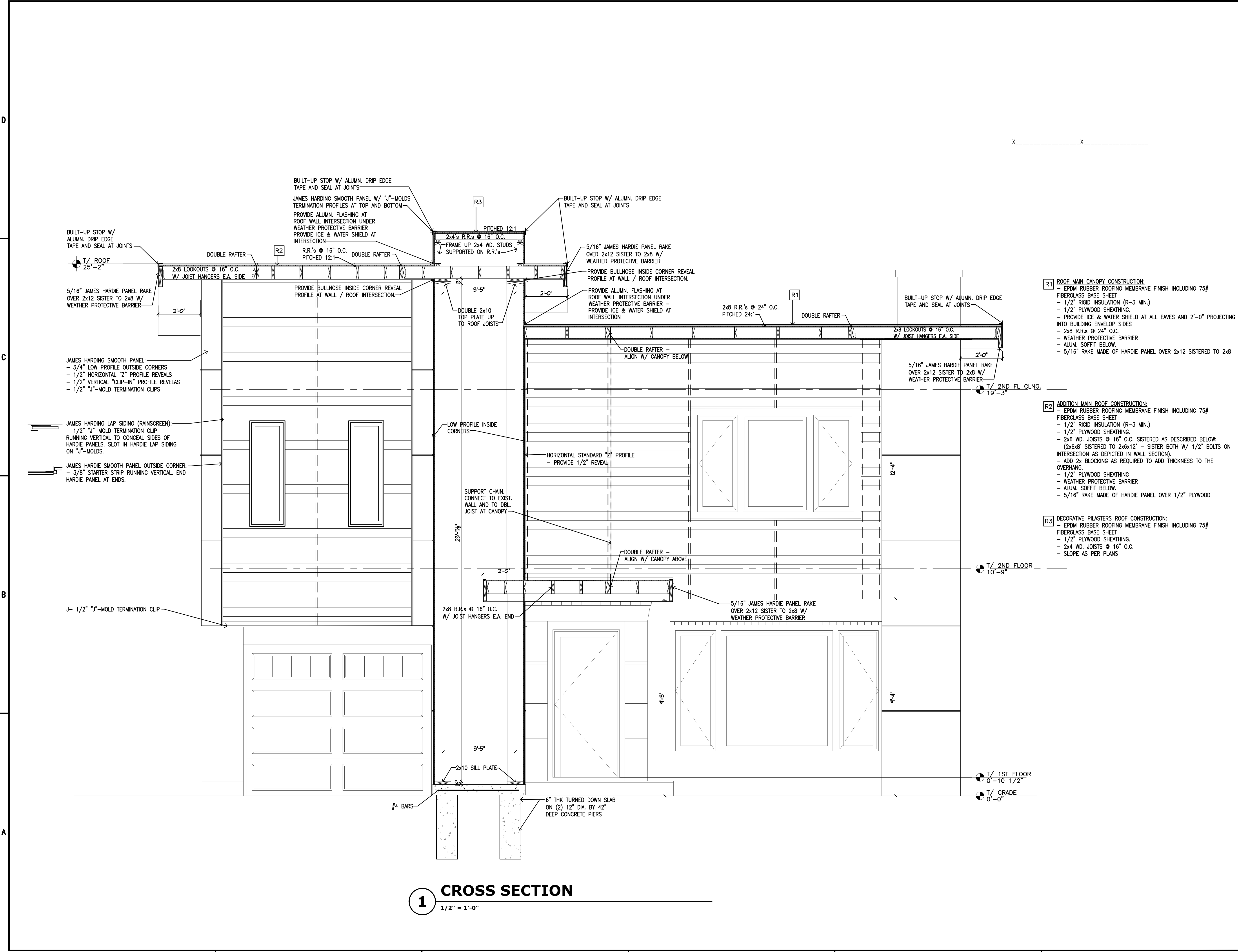


**3 NEW REAR/EAST ELEVATION**  
 1/4" = 1'-0"

**4 NEW SOUTH ELEVATION**  
 1/4" = 1'-0"

**NEW ELEVATION NOTES**

- NEW FRAMED DECORATIVE PILLARS (NON-STRUCTURAL) ATTACHED TO EXISTING EXTERIOR WALLS. SEE DETAILS FOR CONNECTIONS.
- NEW FRAMED DECORATIVE PILASTERS:  
 2x4 WOOD FRAMING W/ EXTERIOR 1/2" PLYWOOD SHEATHING, HOUSE WRAP W/ 3" SEAL TAPE ON ALL SEAMS & HARDIE BOARD PANEL SIDING PLACED HORIZONTALLY (96"x48") W/ 1/2" HORIZONTAL & VERTICAL REVEAL. SEE WALL SECTIONS FOR DETAILS.
- SECOND FLOOR ADDITION (HARDIE PANEL):  
 NEW EXTERIOR WALL COMPOSED OF 2x6 WD. STUDS @ 16" O.C. 5/8" GYP. BOARD ON INTERIOR SIDE. 1/2" PLYWOOD SHEATHING ON EXTERIOR SIDE. CAVITY W/ R-30 MIN. SPRAY FOAM CLOSED CELL INSULATION. HOUSE WRAP OVER SHEATHING SEALED W/ 3" TAPE OVER ALL SEAMS. INSTALL HORIZONTAL & VERTICAL STRIPS FOR PANEL SUPPORT & REVEAL (1/2"). 5/16" (48"x68") EXTERIOR FINISH HARDIE BOARD PANELS LAID HORIZONTALLY. SEE WALL SECTIONS FOR DETAILS.
- RAIN SCREEN OVER EXISTING BRICK VENEER:  
 INSTALL HOUSE WRAP OVER EXISTING BRICK VENEER INCLUDING SEALING ALL JOINTS W/ 3" TAPE. INSTALL JAMES HARDIE V-GROOVE ARTISAN SIDING OVER 1"x4" VERTICAL FURRING STRIPS ATTACHED TO EXISTING EXTERIOR WALL. SEE WALL SECTIONS FOR DETAILS.
- RAIN SCREEN OVER NEW ADDITION:  
 INSTALL HOUSE WRAP OVER NEW 1/2" PLYWOOD SHEATHING INCLUDING SEALING ALL JOINTS W/ 3" TAPE. INSTALL JAMES HARDIE V-GROOVE ARTISAN SIDING OVER 1"x4" @ 48" O.C. VERTICAL FURRING STRIPS ATTACHED TO NEW SHEATHING. SEE WALL SECTIONS FOR DETAILS.
- NEW CANOPY:  
 2x4 BUILD STRUCTURE CONNECTING TO NEW DECORATIVE PILLARS FOR SUPPORT. INSTALL EPDM ROOF MEMBRANE OVER 1/2" PLYWOOD SHEATHING W/ 75# FIBERGLASS BASE SHEET, INCLUDE ICE & WATER SHIELD AT PERIMETER OVER ALUMN. DRIPPING EDGE. HARDIE PANEL FASCIA BOARD AND COMPOSITE SOFFIT W/ PRESSURE RELEASE VENTING AS REQUIRED. SEE WALL SECTIONS FOR DETAILS.
- NEW ROOF OVERHANG OVER EXISTING EXTERIOR WALL:  
 SEE ITEM 4: INCLUDE ATTACHING TO EXISTING PARAPET WALL AS REQUIRED. PROVIDE BOX BEAM AS PER DETAILS. SEE WALL SECTIONS FOR DETAILS.
- NEW ROOF:  
 NEW EPDM ROOFING OVER 1/2" PLYWOOD SHEATHING W/ 75# FIBERGLASS BASE SHEET & ICE & WATER SHIELD AS PER PLANS. ALUM. DRIP EDGE. ON 2x6 R.R.s @ 16" O.C. 1x FASCIA BOARD, COMPOSITE SOFFIT W/ PRESSURE VENTING AS REQUIRED AND R-49 ROOF INSULATION. SEE WALL SECTIONS FOR DETAILS.
- NEW DECORATIVE PILLAR ROOF:  
 NEW EPDM ROOFING OVER 1/2" PLYWOOD SHEATHING W/ ICE & WATER SHIELD AS PER PLANS. ALUM. DRIP EDGE. ON 2x4 R.R.s @ 16" O.C. SEE WALL SECTIONS FOR DETAILS.
- WATERPROOFING:  
 INSTALL HOUSE WRAP AS DESCRIBED ABOVE OVER ENTIRE SURFACE COVERINGS. SEALING ALL JOINTS W/ 3" TAPE.  
 INSTALL BUTYL FLASHING TAPE PROTECTION AT PERIMETER OF ALL WINDOW OPENINGS WHERE WORK IS TAKING PLACE INCLUDING ICE & WATER SHIELD AT ALL WINDOW SILLS.  
 INSTALL ALUM. FLASHING OVER ALL WINDOW HEADERS.  
 INSTALL ALUM. FLASHING OVER ALL ROOF / WALL INTERSECTIONS.  
 INSTALL ALUM. DRIP EDGES OVER ALL ROOFS.  
 INSTALL ALUM. "K" STYLE GUTTERS AS PER ELEVATION.  
 SEE WALL SECTIONS FOR DETAILS.



**1 CROSS SECTION**  
1/2" = 1'-0"

DEPARTMENT APPROVAL:

**AIRROOM ARCHITECTS & BUILDERS**  
SINCE 1958  
Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

ISSUES & REVISIONS:

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

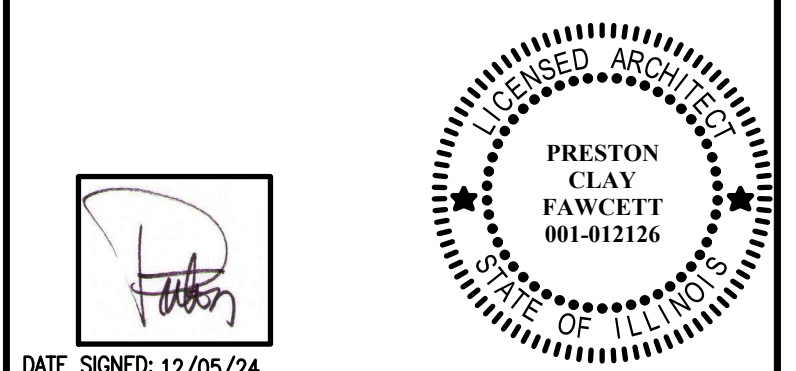
THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).



DATE SIGNED: 12/05/24

I/WE, THE BUYER(S), HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

**PROJECT INFORMATION:**  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCO TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

SHEET NO: **240071**

SHEET TITLE: **NEW CANOPY CROSS SECTION**

SCALE: **A3.0**

DATE: 11/15/24

REFERENCE: **C68931 - L73226**

27

DEPARTMENT APPROVAL:

**AIRROOM**  
ARCHITECTS & BUILDERS  
SINCE 1958  
Airoom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airoom.com  
Email: info@airoom.com

ISSUES & REVISIONS	
ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).

DATE SIGNED: 12/05/24

1/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

1/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:	LAURA DRATHS
PROJECT COORDINATOR:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCO TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

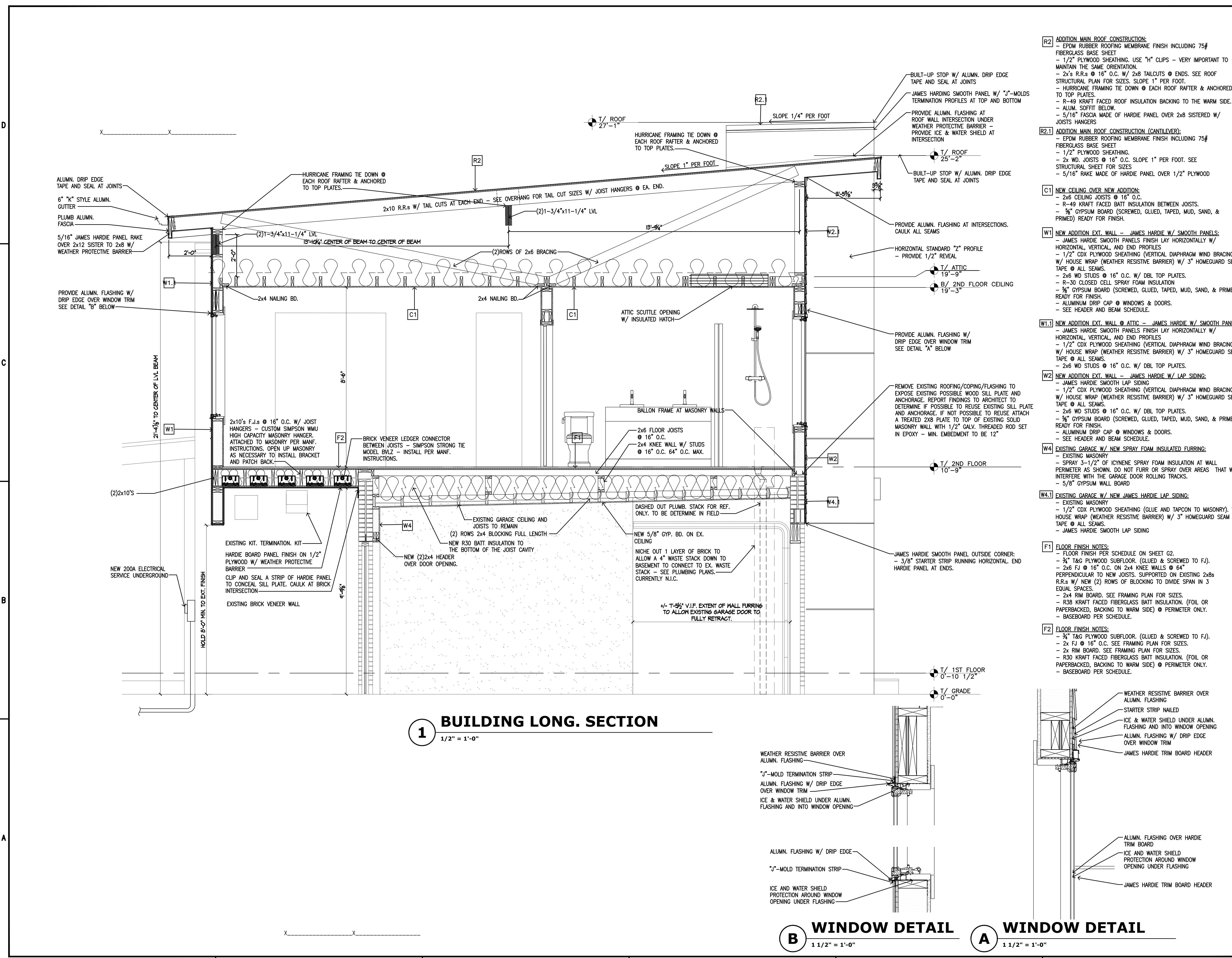
SHEET NO: **240071**

SHEET TITLE: **NEW LONG. BUILDING SECTION**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND NOT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED OR WORK FORSEASABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
A&D REFERENCE  
**C68931 - L73226**

**A3.1**  
27

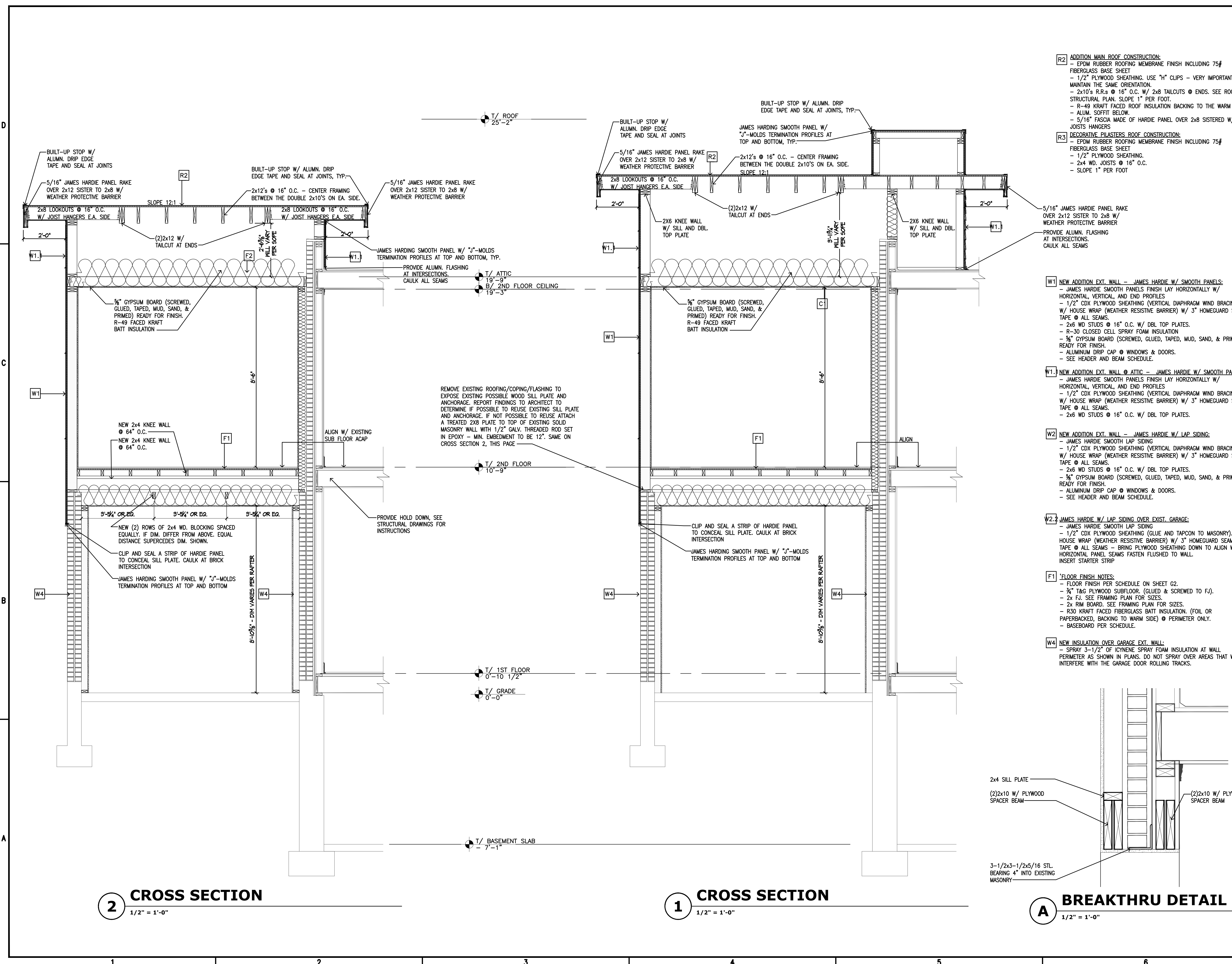


**1 BUILDING LONG. SECTION**  
1/2" = 1'-0"

**B WINDOW DETAIL**  
1 1/2" = 1'-0"

**A WINDOW DETAIL**  
1 1/2" = 1'-0"





- R2** ADDITION MAIN ROOF CONSTRUCTION:
  - EPDM RUBBER ROOFING MEMBRANE FINISH INCLUDING 75# FIBERGLASS BASE SHEET
  - 1/2" PLYWOOD SHEATHING. USE "H" CLIPS - VERY IMPORTANT TO MAINTAIN THE SAME ORIENTATION.
  - 2x10's R.R.s @ 16" O.C. W/ 2x8 TAILCUTS @ ENDS. SEE ROOF STRUCTURAL PLAN. SLOPE 1" PER FOOT.
  - R-49 KRAFT FACED ROOF INSULATION BACKING TO THE WARM SIDE.
  - ALUM. SOFFIT BELOW.
  - 5/16" FASCIA MADE OF HARDIE PANEL OVER 2x8 SISTERED W/ JOISTS HANGERS
- R3** DECORATIVE PILASTER ROOF CONSTRUCTION:
  - EPDM RUBBER ROOFING MEMBRANE FINISH INCLUDING 75# FIBERGLASS BASE SHEET
  - 1/2" PLYWOOD SHEATHING.
  - 2x4 WD. JOISTS @ 16" O.C.
  - SLOPE 1" PER FOOT

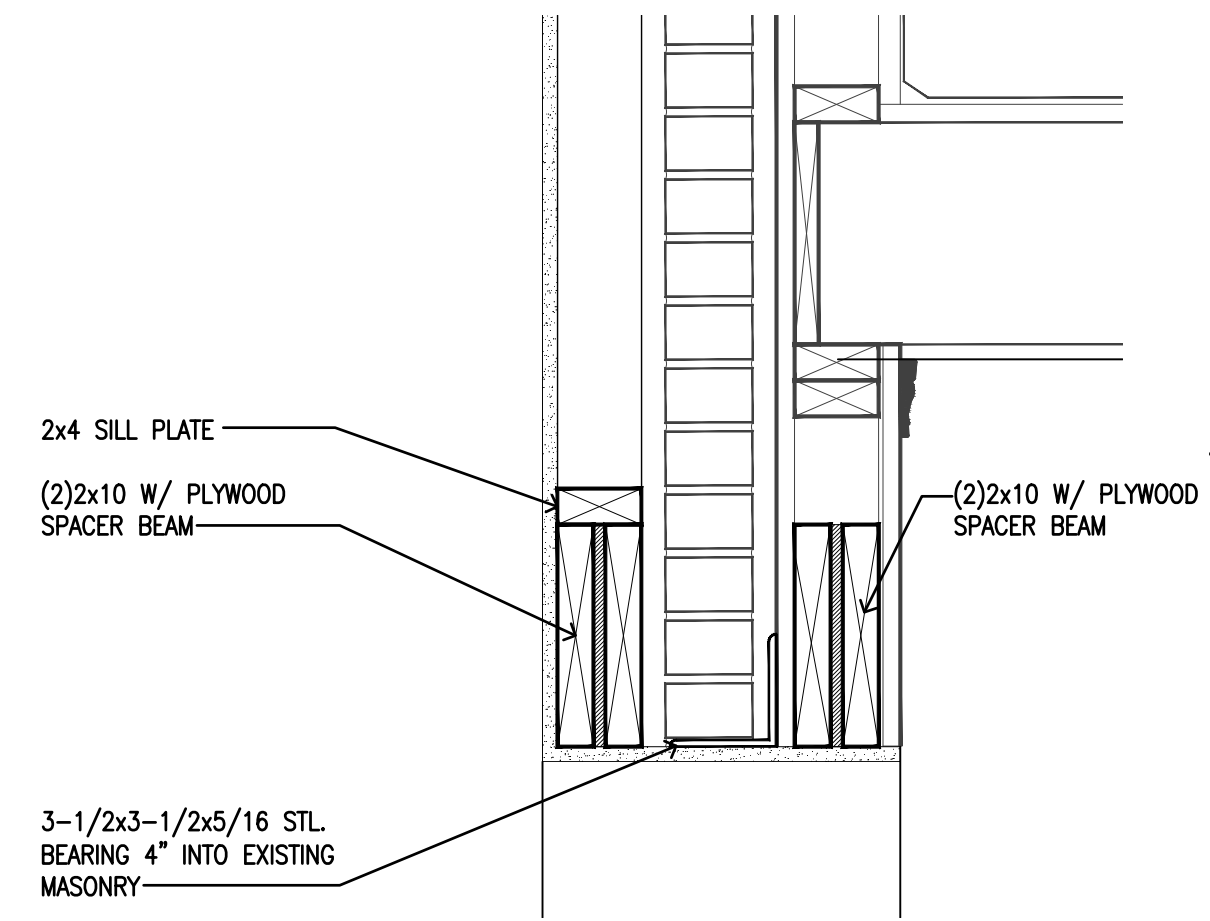
- W1** NEW ADDITION EXT. WALL - JAMES HARDIE W/ SMOOTH PANELS:
  - JAMES HARDIE SMOOTH PANELS FINISH LAY HORIZONTALLY W/ HORIZONTAL, VERTICAL, AND END PROFILES
  - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).
  - W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM TAPE @ ALL SEAMS.
  - 2x6 WD STUDS @ 16" O.C. W/ DBL TOP PLATES.
  - R-30 CLOSED CELL SPRAY FOAM INSULATION
  - 5/8" GYPSUM BOARD (SCREWED, GLUED, TAPED, MUD, SAND, & PRIMED) READY FOR FINISH.
  - ALUMINUM DRIP CAP @ WINDOWS & DOORS.
  - SEE HEADER AND BEAM SCHEDULE.
- W1.1** NEW ADDITION EXT. WALL @ ATTIC - JAMES HARDIE W/ SMOOTH PANELS:
  - JAMES HARDIE SMOOTH PANELS FINISH LAY HORIZONTALLY W/ HORIZONTAL, VERTICAL, AND END PROFILES
  - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).
  - W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM TAPE @ ALL SEAMS.
  - 2x6 WD STUDS @ 16" O.C. W/ DBL TOP PLATES.

- W2** NEW ADDITION EXT. WALL - JAMES HARDIE W/ LAP SIDING:
  - JAMES HARDIE SMOOTH LAP SIDING
  - 1/2" CDX PLYWOOD SHEATHING (VERTICAL DIAPHRAGM WIND BRACING).
  - W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM TAPE @ ALL SEAMS.
  - 2x6 WD STUDS @ 16" O.C. W/ DBL TOP PLATES.
  - 5/8" GYPSUM BOARD (SCREWED, GLUED, TAPED, MUD, SAND, & PRIMED) READY FOR FINISH.
  - ALUMINUM DRIP CAP @ WINDOWS & DOORS.
  - SEE HEADER AND BEAM SCHEDULE.

- W2.2** JAMES HARDIE W/ LAP SIDING OVER EXIST. GARAGE:
  - JAMES HARDIE SMOOTH LAP SIDING
  - 1/2" CDX PLYWOOD SHEATHING (GLUE AND TAPCON TO MASONRY), W/ HOUSE WRAP (WEATHER RESISTIVE BARRIER) W/ 3" HOMEGUARD SEAM TAPE @ ALL SEAMS - BRING PLYWOOD SHEATHING DOWN TO ALIGN WITH HORIZONTAL PANEL SEAMS FASTEN FLUSHED TO WALL.

- F1** FLOOR FINISH NOTES:
  - FLOOR FINISH PER SCHEDULE ON SHEET G2.
  - 3/4" T&G PLYWOOD SUBFLOOR. (GLUED & SCREWED TO FJ).
  - 2x FJ. SEE FRAMING PLAN FOR SIZES.
  - 2x RIM BOARD. SEE FRAMING PLAN FOR SIZES.
  - R30 KRAFT FACED FIBERGLASS BATT INSULATION. (FOIL OR PAPERBACKED, BACKING TO WARM SIDE) @ PERIMETER ONLY.
  - BASEBOARD PER SCHEDULE.

- W4** NEW INSULATION OVER GARAGE EXT. WALL:
  - SPRAY 3-1/2" OF ICYNENE SPRAY FOAM INSULATION AT WALL PERIMETER AS SHOWN IN PLANS. DO NOT SPRAY OVER AREAS THAT WILL INTERFERE WITH THE GARAGE DOOR ROLLING TRACKS.



DEPARTMENT APPROVAL:

**AIRROOM ARCHITECTS & BUILDERS**  
SINCE 1958  
Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

ISSUES & REVISIONS:

ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONJUNCTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNTIL THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).

**LICENSED ARCHITECT**  
PRESTON CLAY FAWCETT  
001-012126  
STATE OF ILLINOIS

DATE SIGNED: 12/05/24

I/WE, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:

PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SAADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS

SUPERINTENDENT:  
PROJECT NO.:  
**240071**

SHEET TITLE:  
**NEW CROSS BUILDING SECTIONS**

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND YOU ARE TO BE CALLED TO ATTENTION BY THE ARCHITECT. NO EXTRA ALLOWED FOR WORK FORESEEABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
A&D REFERENCE  
**C68931 - L73226**

**A3.2**  
27

DEPARTMENT APPROVAL:

**AIRROOM**  
ARCHITECTS & BUILDERS  
SINCE 1958  
Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com  
Email: info@airroom.com

ISSUES & REVISIONS	
ISSUE DATES	DESCRIPTION
12/05/2024	PUBLISHED FOR PERMIT

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIRROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIRROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIRROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNLESS THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP. ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code information section, see sheet G1.0).

DATE SIGNED: 12/05/24

1/ME, THE BUYERS, HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

1/ME, THE BUYERS, UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

BUYER: \_\_\_\_\_ DATE: \_\_\_\_\_

AIRROOM REPRESENTATIVE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT INFORMATION:  
**BOULAHANIS / NEIRA**  
NANCY & JULIO  
1523 CLINTON PL  
RIVER FOREST, IL 60505  
(708)691-1302  
njb3105@gmail.com

PROJECT TEAM:	LAURA DRATHS
PROJECT COORDINATOR:	BRETT HENTHORN / ROBERT LISK
PROJECT ARCHITECT:	PRESTON FAWCETT
PROJECT DEV. MANAGER:	BRIAN HOSPEL
ARCHITECT TEAM:	JORGE MATA/HARON SADEH
PCC TEAM:	ROBYN RUE
KITCHEN & BATH TEAM:	JORGE ESCOBAR/JENNIFER ROBERTS
ESTIMATING TEAM:	ARMANDO SALAZAR, ADAM RUNNELS
SUPERINTENDENT:	
PROJECT NO.:	

**240071**

**NEW CANOPY SECTIONS**

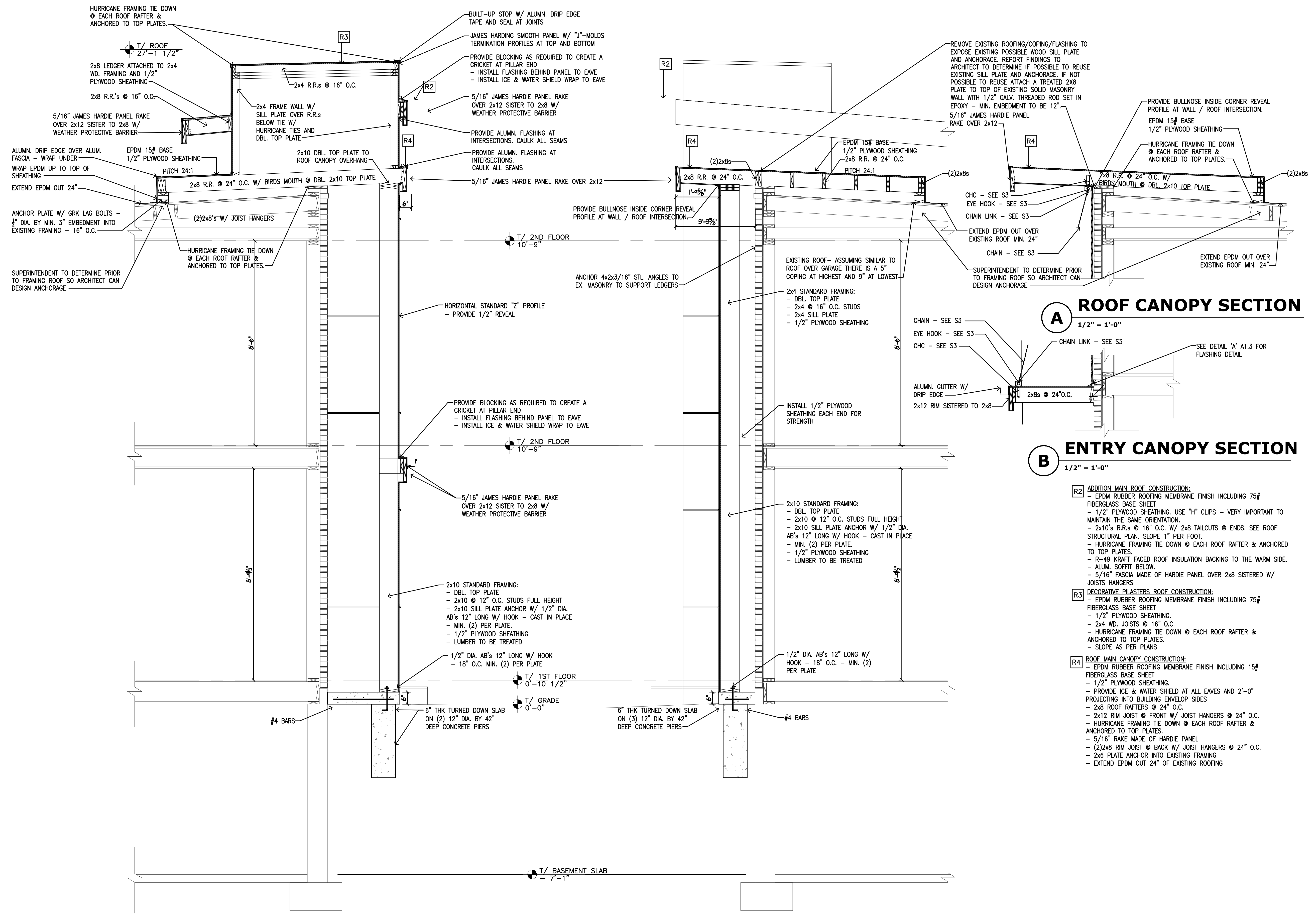
SHEET TITLE:

**A3.3**

27

DISCREPANCIES FOUND BETWEEN DRAWING AND SPECIFICATIONS AND NOT ARE TO BE CALLED TO ATTENTION OF THE ARCHITECT. NO EXTRAS ARE ALLOWED FOR WORK FORSEASABLE BY VISIT OR FOR MINOR CONSTRUCTION ADJUSTMENTS OR CORRECTIONS THAT MAY OCCUR WHEN THE WALL, ETC., ARE ERECTED FOR NEW CONSTRUCTION ACCESS.

© 2024 AIRROOM ARCHITECTS CORP. 11/15/24  
A3D REFERENCE  
C68931 - L73226



**2 CANOPY SECTION**  
1/2" = 1'-0"

**1 CANOPY SECTION**  
1/2" = 1'-0"

**A ROOF CANOPY SECTION**  
1/2" = 1'-0"

**B ENTRY CANOPY SECTION**  
1/2" = 1'-0"

HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.

2x8 LEDGER ATTACHED TO 2x4 WD. FRAMING AND 1/2" PLYWOOD SHEATHING.

2x8 R.R.'s @ 16" O.C.

5/16" JAMES HARDIE PANEL RAKE OVER 2x12 SISTER TO 2x8 W/ WEATHER PROTECTIVE BARRIER.

ALUMN. DRIP EDGE OVER ALUM. FASCIA - WRAP UNDER WRAP EPDM UP TO TOP OF SHEATHING.

EPDM 15# BASE 1/2" PLYWOOD SHEATHING.

2x4 FRAME WALL W/ SILL PLATE OVER R.R.'s BELOW TIE W/ HURRICANE TIES AND DBL. TOP PLATE.

2x10 DBL. TOP PLATE TO ROOF CANOPY OVERHANG.

2x8 R.R. @ 24" O.C. W/ BIRDS MOUTH @ DBL. 2x10 TOP PLATE.

(2)2x8's W/ JOIST HANGERS.

HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.

ANCHOR PLATE W/ GRK LAG BOLTS - 1" DIA. BY MIN. 3" EMBEDMENT INTO EXISTING FRAMING - 16" O.C.

2x4 STANDARD FRAMING: - DBL. TOP PLATE - 2x4 @ 16" O.C. STUDS - 2x4 SILL PLATE - 1/2" PLYWOOD SHEATHING

HORIZONTAL STANDARD "Z" PROFILE - PROVIDE 1/2" REVEAL.

PROVIDE BLOCKING AS REQUIRED TO CREATE A CRICKET AT PILLAR END - INSTALL FLASHING BEHIND PANEL TO EAVE - INSTALL ICE & WATER SHIELD WRAP TO EAVE.

5/16" JAMES HARDIE PANEL RAKE OVER 2x12 SISTER TO 2x8 W/ WEATHER PROTECTIVE BARRIER.

2x10 STANDARD FRAMING: - DBL. TOP PLATE - 2x10 @ 12" O.C. STUDS FULL HEIGHT - 2x10 SILL PLATE ANCHOR W/ 1/2" DIA. AB'S 12" LONG W/ HOOK - CAST IN PLACE - MIN. (2) PER PLATE. - 1/2" PLYWOOD SHEATHING - LUMBER TO BE TREATED.

1/2" DIA. AB'S 12" LONG W/ HOOK - 18" O.C. MIN. (2) PER PLATE.

6" THK TURNED DOWN SLAB ON (2) 12" DIA. BY 42" DEEP CONCRETE PIERS.

BUILT-UP STOP W/ ALUMN. DRIP EDGE TAPE AND SEAL AT JOINTS.

JAMES HARDIE SMOOTH PANEL W/ "J"-MOLDS TERMINATION PROFILES AT TOP AND BOTTOM.

PROVIDE BLOCKING AS REQUIRED TO CREATE A CRICKET AT PILLAR END - INSTALL FLASHING BEHIND PANEL TO EAVE - INSTALL ICE & WATER SHIELD WRAP TO EAVE.

5/16" JAMES HARDIE PANEL RAKE OVER 2x12 SISTER TO 2x8 W/ WEATHER PROTECTIVE BARRIER.

PROVIDE ALUMN. FLASHING AT INTERSECTIONS. CAULK ALL SEAMS.

PROVIDE ALUMN. FLASHING AT INTERSECTIONS. CAULK ALL SEAMS.

5/16" JAMES HARDIE PANEL RAKE OVER 2x12.

REMOVE EXISTING ROOFING/COPING/FLASHING TO EXPOSE EXISTING POSSIBLE WOOD SILL PLATE AND ANCHORAGE. REPORT FINDINGS TO ARCHITECT TO DETERMINE IF POSSIBLE TO REUSE EXISTING SILL PLATE AND ANCHORAGE. IF NOT POSSIBLE TO REUSE ATTACH A TREATED 2X8 PLATE TO TOP OF EXISTING SOLID MASONRY WALL WITH 1/2" GALV. THREADED ROD SET IN EPOXY - MIN. EMBEDMENT TO BE 12".

5/16" JAMES HARDIE PANEL RAKE OVER 2x12.

PROVIDE BULLNOSE INSIDE CORNER REVEAL PROFILE AT WALL / ROOF INTERSECTION.

EPDM 15# BASE 1/2" PLYWOOD SHEATHING.

HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.

2x8 R.R. @ 24" O.C. W/ BIRDS MOUTH @ DBL. 2x10 TOP PLATE.

(2)2x8s.

2x8 R.R. @ 24" O.C.

EPDM 15# BASE 1/2" PLYWOOD SHEATHING 2x8 R.R. @ 24" O.C. PITCH 24:1.

2x8 R.R. @ 24" O.C.

2x8 R.R. @ 24" O.C.

EXISTING ROOF - ASSUMING SIMILAR TO ROOF OVER GARAGE THERE IS A 5" COPING AT HIGHEST AND 9" AT LOWEST.

2x4 STANDARD FRAMING: - DBL. TOP PLATE - 2x4 @ 16" O.C. STUDS - 2x4 SILL PLATE - 1/2" PLYWOOD SHEATHING

ANCHOR 4x2x3/16" STL. ANGLES TO EX. MASONRY TO SUPPORT LEDGERS.

PROVIDE BULLNOSE INSIDE CORNER REVEAL PROFILE AT WALL / ROOF INTERSECTION.

2x8 R.R. @ 24" O.C.

1'-4 3/8"

9'-9 3/8"

EXISTING ROOF - ASSUMING SIMILAR TO ROOF OVER GARAGE THERE IS A 5" COPING AT HIGHEST AND 9" AT LOWEST.

2x4 STANDARD FRAMING: - DBL. TOP PLATE - 2x4 @ 16" O.C. STUDS - 2x4 SILL PLATE - 1/2" PLYWOOD SHEATHING

INSTALL 1/2" PLYWOOD SHEATHING EACH END FOR STRENGTH.

CHAIN - SEE S3

EYE HOOK - SEE S3

CHC - SEE S3

CHAIN LINK - SEE S3

EXTEND EPDM OUT OVER EXISTING ROOF MIN. 24"

CHAIN - SEE S3

ALUMN. GUTTER W/ DRIP EDGE

2x12 RIM SISTERED TO 2x8

2x8 @ 24" O.C.

SEE DETAIL 'A' A1.3 FOR FLASHING DETAIL.

**R2 ADDITION MAIN ROOF CONSTRUCTION:**  
- EPDM RUBBER ROOFING MEMBRANE FINISH INCLUDING 75# FIBERGLASS BASE SHEET  
- 1/2" PLYWOOD SHEATHING, USE "H" CLIPS - VERY IMPORTANT TO MAINTAIN THE SAME ORIENTATION.  
- 2x10's R.R.'s @ 16" O.C. W/ 2x8 TAILCUTS @ ENDS. SEE ROOF STRUCTURAL PLAN, SLOPE 1" PER FOOT.  
- HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.  
- R-49 KRAFT FACED ROOF INSULATION BACKING TO THE WARM SIDE.  
- ALUM. SOFFIT BELOW.  
- 5/16" FASCIA MADE OF HARDIE PANEL OVER 2x8 SISTERED W/ JOIST'S HANGERS

**R3 DECORATIVE PILASTERS ROOF CONSTRUCTION:**  
- EPDM RUBBER ROOFING MEMBRANE FINISH INCLUDING 75# FIBERGLASS BASE SHEET  
- 1/2" PLYWOOD SHEATHING.  
- 2x4 WD. JOISTS @ 16" O.C.  
- HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.  
- SLOPE AS PER PLANS

**R4 ROOF MAIN CANOPY CONSTRUCTION:**  
- EPDM RUBBER ROOFING MEMBRANE FINISH INCLUDING 15# FIBERGLASS BASE SHEET  
- 1/2" PLYWOOD SHEATHING.  
- PROVIDE ICE & WATER SHIELD AT ALL EAVES AND 2'-0" PROJECTING INTO BUILDING ENVELOP SIDES  
- 2x8 ROOF RAFTERS @ 24" O.C.  
- 2x12 RIM JOIST @ FRONT W/ JOIST HANGERS @ 24" O.C.  
- HURRICANE FRAMING TIE DOWN @ EACH ROOF RAFTER & ANCHORED TO TOP PLATES.  
- 5/16" RAKE MADE OF HARDIE PANEL  
- (2)2x8 RIM JOIST @ BACK W/ JOIST HANGERS @ 24" O.C.  
- 2x6 PLATE ANCHOR INTO EXISTING FRAMING  
- EXTEND EPDM OUT 24" OF EXISTING ROOFING

\\s01\p01\Documents\68931\173226\3-15a Program CDD-1.4-PC-C68931-240071-NEIRA\_240071-SHEET\_A3.dwg - 11/15/24 10:24:46 AM - AutoCAD PDF (Generic Document).ps

## Zoning Review Checklist

Address: 1523 Clinton Place

Date of Review: 1/21/2025

Date of Submission: 12/11/2024

Contact:

Telephone #:

Zoning District:

R2

**Use:**

Addition to a Single Family Residence

**Permitted Use**

**Lot Area**

Lot Width	Lot Depth	Lot Area
<span style="border: 1px solid black; padding: 2px;">50.00</span>	<span style="border: 1px solid black; padding: 2px;">188.10</span>	<span style="border: 1px solid black; padding: 2px;">9405.00</span>

**Lot Coverage**

30% allowed for the R2 District

Allowed	Existing	Proposed	
<span style="border: 1px solid black; padding: 2px;">2821.50</span>	<span style="border: 1px solid black; padding: 2px;">1254.61</span>	<span style="border: 1px solid black; padding: 2px;">1354.52</span>	<input checked="" type="checkbox"/>
	13.34%	14.40%	

**Floor Area Ratio**

40% allowed for the R2 District

Allowed	Existing	Proposed	
<span style="border: 1px solid black; padding: 2px;">3762.00</span>	<span style="border: 1px solid black; padding: 2px;">1797.88</span>	<span style="border: 1px solid black; padding: 2px;">2157.38</span>	<input checked="" type="checkbox"/>
	19.12%	22.94%	

Net additional floor area added to the residence

359.50 s.f.

**Setbacks**

Front Yard

**East**

Required	Existing	Proposed setback at addition
----------	----------	------------------------------

Average of block, see 10-8-7 A

50.0400      47.0400

Eave Length

0.0000      0.3021

Setback to Eave

49.0700      50.0400      46.7379  ~~✗~~

46.6165 allowed per requested Minor Variation

Side Yard

**North**

10% of Lot Width for the R2 District 5.0000      6.0000      6.0000

Eave Length

0.0000      1.0000

Setback to Eave

3.0000      6.0000      5.0000

Side Yard

**South**

10% of Lot Width for the R2 District 5.0000      8.0000      8.0375

Eave Length

0.0000      2.0000

Setback to Eave

3.0000      8.0000      6.0375

Combined Side Yard

25% of Lot Width for the R2 District 12.5000      14.0000      14.0375

Rear Yard

**West**

15% of Lot Depth or 26'-2" minimum 86.8000      109.5810

Eave Length

1.0000      0.5000

Setback to Eave

28.2150      85.8000      109.0810

Addition

## Zoning Review Checklist

### Building Height Ridge

Height above grade in feet  
 Story Height

Allowed

35'

2.5

Existing

23.5'

2

Proposed Ht.  
 at addition

30.25'

2



### Off-Street Parking

Garage spaces

Required

2

Existing

1

Existing +  
 Proposed

1



**No Change**

**1523 Clinton Place****1/21/2025**

Area Calculations

**Revised:**

Date of Submission

**12/11/2024**

Review for Minor Zoning Variation

Lot Area	50.0000	188.1000	<b>9405.0000</b>
Allowed Coverage	0.3000		<b>2821.5000</b>
Allowed FAR	0.4000		<b>3762.0000</b>

**Lot Coverage - Existing**

First Floor Area	Existing	1254.6099	
		0.0000	
		0.0000	
	<b>Total</b>		<b>1254.6099</b>

**Lot Coverage - Proposed**

First Floor Area	Existing	1275.3523	
Second Floor Overhang	Proposed	79.1700	
		0.0000	
	<b>Total</b>		<b>1354.5223</b>

**Floor Area - Existing**

Floor Area - existing	1st floor	1254.6099	
	2nd floor	693.2695	
	Attic	0.0000	
		0.0000	
garage allowance (up to 500 s.f)		-150.0000	
			<b>1797.8794</b>

**Floor Area - Proposed**

Floor Area - Proposed	1st floor	1275.3523	
	2nd floor	1032.0279	
	Attic	0.0000	
		0.0000	
garage allowance		-150.0000	
			<b>2157.3802</b>

**Net Increase in Floor Area**

	Proposed	Existing	change
First Floor	1275.3523	1254.6099	20.7424
Second Floor	1032.0279	693.2695	338.7584
	0.0000	0.0000	0.0000
	0.0000	0.0000	0.0000
<b>Net Increase</b>			<b>359.5008</b>

**1523 Clinton Place**

**1/21/2025**

House - 1st floor - <b>Existing per Plat</b>	n-s	e-w	
A	1.1000	6.7000	7.3700
B	23.5300	29.1500	685.8995
C	11.3100	21.1000	238.6410
D	0.2500	0.3400	0.0850
E	14.4800	22.2800	322.6144
			0.0000
Existing First Floor Area			<b>1254.6099</b>

House - 1st floor - <b>Proposed Existing Additions</b>			1254.6099
m	4.2031	2.9323	12.3248
n	3.5781	1.4323	5.1249
o	1.0625	3.0990	3.2927
			0.0000
			0.0000
Proposed First Floor Area			<b>1275.3523</b>

House - 2nd floor - <b>Existing</b>			
A	1.1000	6.7000	7.3700
B	23.5300	29.1500	685.8995
			0.0000
			0.0000
Existing Second Floor Area			<b>693.2695</b>

House - 2nd floor - <b>Proposed Existing to remain Additions</b>			693.2695
j	11.3177	28.0990	318.0161
m	4.2031	2.9323	12.3248
n	3.5781	1.4323	5.1249
o	1.0625	3.0990	3.2927
Proposed Second Floor Area			<b>1032.0279</b>

Second Floor Overhang - <b>Proposed</b>			
sfo	11.3100	7.0000	79.1700
			0.0000
Porch Area			<b>79.1700</b>